

# HISTORIC AND DESIGN REVIEW COMMISSION

November 17, 2021

**HDRC CASE NO:** 2021-557  
**ADDRESS:** 809 BURLESON ST  
**LEGAL DESCRIPTION:** NCB 1301 BLK 2 LOT 16  
**ZONING:** R-5, H  
**CITY COUNCIL DIST.:** 2  
**DISTRICT:** Dignowity Hill Historic District  
**APPLICANT:** PAUL KURI/IMPERIAL CUSTOM BUILDERS  
**OWNER:** PAUL KURI/IMPERIAL CUSTOM BUILDERS  
**TYPE OF WORK:** Exterior modifications, fenestration modifications, roof replacement and roof form modifications, window replacement, repair and maintenance, column replacement, door replacement, front door removal, construction of a rear addition  
**APPLICATION RECEIVED:** October 28, 2021  
**60-DAY REVIEW:** Not applicable due to City Council Emergency Orders  
**CASE MANAGER:** Edward Hall  
**REQUEST:**

The applicant is requesting a Certificate of Appropriateness for approval to:

1. Replace the existing, wrought iron porch columns with wood porch columns.
2. Paint the historic structure.
3. Replace the existing, standing seam metal roof with a new standing seam metal roof.
4. Modify the existing roof form from a cross gabled roof with both front and side gables to a hipped roof with a front gable.
5. Replace the existing, wood windows with new wood windows, relocate existing openings and enclose four window openings.
6. Replace the existing, wood doors with new wood doors.
7. Remove the existing, side facing front door opening and install a window opening.
8. Remove the existing, shed awning beneath the front facing gable.
9. Construction of a rear addition to feature 1, 340 square feet with a rear wood deck to feature approximately 250 square feet.

## APPLICABLE CITATIONS:

*Historic Design Guidelines, Chapter 2, Guidelines for Exterior Maintenance and Alterations*

### 3. Materials: Roofs

#### A. MAINTENANCE (PRESERVATION)

*i. Regular maintenance and cleaning*—Avoid the build-up of accumulated dirt and retained moisture. This can lead to the growth of moss and other vegetation, which can lead to roof damage. Check roof surface for breaks or holes and flashing for open seams and repair as needed.

#### B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

*i. Roof replacement*—Consider roof replacement when more than 25-30 percent of the roof area is damaged or 25-30 percent of the roof tiles (slate, clay tile, or cement) or shingles are missing or damaged.

*ii. Roof form*—Preserve the original shape, line, pitch, and overhang of historic roofs when replacement is necessary.

*iii. Roof features*—Preserve and repair distinctive roof features such as cornices, parapets, dormers, open eaves with exposed rafters and decorative or plain rafter tails, flared eaves or decorative purlins, and brackets with shaped ends.

*iv. Materials: sloped roofs*—Replace roofing materials in-kind whenever possible when the roof must be replaced.

Retain and re-use historic materials when large-scale replacement of roof materials other than asphalt shingles is required (e.g., slate or clay tiles). Salvaged materials should be re-used on roof forms that are most visible from the

public right-of-way. Match new roofing materials to the original materials in terms of their scale, color, texture, profile, and style, or select materials consistent with the building style, when in-kind replacement is not possible.

*v. Materials: flat roofs*—Allow use of contemporary roofing materials on flat or gently sloping roofs not visible from the public right-of-way.

*vi. Materials: metal roofs*—Use metal roofs on structures that historically had a metal roof or where a metal roof is appropriate for the style or construction period. Refer to Checklist for Metal Roofs on page 10 for desired metal roof specifications when considering a new metal roof. New metal roofs that adhere to these guidelines can be approved administratively as long as documentation can be provided that shows that the home has historically had a metal roof.

*vii. Roof vents*—Maintain existing historic roof vents. When deteriorated beyond repair, replace roof vents in-kind or with one similar in design and material to those historically used when in-kind replacement is not possible.

## 6. Architectural Features: Doors, Windows, and Screens

### A. MAINTENANCE (PRESERVATION)

*i. Openings*—Preserve existing window and door openings. Avoid enlarging or diminishing to fit stock sizes or air conditioning units. Avoid filling in historic door or window openings. Avoid creating new primary entrances or window openings on the primary façade or where visible from the public right of-way.

*ii. Doors*—Preserve historic doors including hardware, fanlights, sidelights, pilasters, and entablatures.

*iii. Windows*—Preserve historic windows. When glass is broken, the color and clarity of replacement glass should match the original historic glass.

### B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

*i. Doors*—Replace doors, hardware, fanlight, sidelights, pilasters, and entablatures in-kind when possible and when deteriorated beyond repair. When in-kind replacement is not feasible, ensure features match the size, material, and profile of the historic element.

*ii. New entrances*—Ensure that new entrances, when necessary to comply with other regulations, are compatible in size, scale, shape, proportion, material, and massing with historic entrances.

*iii. Glazed area*—Avoid installing interior floors or suspended ceilings that block the glazed area of historic windows.

*iv. Window design*—Install new windows to match the historic or existing windows in terms of size, type, configuration, material, form, appearance, and detail when original windows are deteriorated beyond repair.

*v. Muntins*—Use the exterior muntin pattern, profile, and size appropriate for the historic building when replacement windows are necessary. Do not use internal muntins sandwiched between layers of glass.

### *Standard Specifications for Windows in Additions and New Construction*

Consistent with the Historic Design Guidelines, the following recommendations are made for windows to be used in new construction:

- **GENERAL:** Windows used in new construction should be similar in appearance to those commonly found within the district in terms of size, profile, and configuration. While no material is expressly prohibited by the Historic Design Guidelines, a high quality wood or aluminum-clad wood window product often meets the Guidelines with the stipulations listed below.
- **SIZE:** Windows should feature traditional dimensions and proportions as found within the district.
- **SASH:** Meeting rails must be no taller than 1.25". Stiles must be no wider than 2.25". Top and bottom sashes must be equal in size unless otherwise approved.
- **DEPTH:** There should be a minimum of 2" in depth between the front face of the window trim and the front face of the top window sash. This must be accomplished by recessing the window sufficiently within the opening or with the installation of additional window trim to add thickness. All windows should be supplied in a block frame and exclude nailing fins which limit the ability to sufficiently recess the windows.
- **TRIM:** Window trim must feature traditional dimensions and architecturally appropriate casing and sloped sill detail.
- **GLAZING:** Windows should feature clear glass. Low-e or reflective coatings are not recommended for replacements. The glazing should not feature faux divided lights with an interior grille. If approved to match a historic window configuration, the window should feature true, exterior muntins.

- **COLOR:** Wood windows should feature a painted finish. If a clad or non-wood product is approved, white or metallic manufacturer's color is not allowed and color selection must be presented to staff.

## *Historic Design Guidelines, Chapter 3, Guidelines for Additions*

### 1. Massing and Form of Residential Additions

#### A. GENERAL

- i. Minimize visual impact—Site residential additions at the side or rear of the building whenever possible to minimize views of the addition from the public right-of-way. An addition to the front of a building would be inappropriate.
- ii. Historic context—Design new residential additions to be in keeping with the existing, historic context of the block. For example, a large, two-story addition on a block comprised of single-story homes would not be appropriate.
- iii. Similar roof form—Utilize a similar roof pitch, form, overhang, and orientation as the historic structure for additions.
- iv. Transitions between old and new—Utilize a setback or recessed area and a small change in detailing at the seam of the historic structure and new addition to provide a clear visual distinction between old and new building forms.

#### B. SCALE, MASSING, AND FORM

- i. Subordinate to principal facade—Design residential additions, including porches and balconies, to be subordinate to the principal facade of the original structure in terms of their scale and mass.
- ii. Rooftop additions—Limit rooftop additions to rear facades to preserve the historic scale and form of the building from the street level and minimize visibility from the public right-of-way. Full-floor second story additions that obscure the form of the original structure are not appropriate.
- iii. Dormers—Ensure dormers are compatible in size, scale, proportion, placement, and detail with the style of the house. Locate dormers only on non-primary facades (those not facing the public right-of-way) if not historically found within the district.
- iv. Footprint—The building footprint should respond to the size of the lot. An appropriate yard to building ratio should be maintained for consistency within historic districts. Residential additions should not be so large as to double the existing building footprint, regardless of lot size.
- v. Height—Generally, the height of new additions should be consistent with the height of the existing structure. The maximum height of new additions should be determined by examining the line-of-sight or visibility from the street. Addition height should never be so contrasting as to overwhelm or distract from the existing structure.

### 3. Materials and Textures

#### A. COMPLEMENTARY MATERIALS

- i. Complementary materials—Use materials that match in type, color, and texture and include an offset or reveal to distinguish the addition from the historic structure whenever possible. Any new materials introduced to the site as a result of an addition must be compatible with the architectural style and materials of the original structure.
- ii. Metal roofs—Construct new metal roofs in a similar fashion as historic metal roofs. Refer to the Guidelines for Alternations and Maintenance section for additional specifications regarding metal roofs.
- iii. Other roofing materials—Match original roofs in terms of form and materials. For example, when adding on to a building with a clay tile roof, the addition should have a roof that is clay tile, synthetic clay tile, or a material that appears similar in color and dimension to the existing clay tile.

#### B. INAPPROPRIATE MATERIALS

- i. Imitation or synthetic materials—Do not use imitation or synthetic materials, such as vinyl siding, brick or simulated stone veneer, plastic, or other materials not compatible with the architectural style and materials of the original structure.

#### C. REUSE OF HISTORIC MATERIALS

- i. Salvage—Salvage and reuse historic materials, where possible, that will be covered or removed as a result of an addition.

### 4. Architectural Details

## A. GENERAL

- i. Historic context—Design additions to reflect their time while respecting the historic context. Consider character-defining features and details of the original structure in the design of additions. These architectural details include roof form, porches, porticos, cornices, lintels, arches, quoins, chimneys, projecting bays, and the shapes of window and door openings.
- ii. Architectural details—Incorporate architectural details that are in keeping with the architectural style of the original structure. Details should be simple in design and compliment the character of the original structure. Architectural details that are more ornate or elaborate than those found on the original structure should not be used to avoid drawing undue attention to the addition.
- iii. Contemporary interpretations—Consider integrating contemporary interpretations of traditional designs and details for additions. Use of contemporary window moldings and door surroundings, for example, can provide visual interest while helping to convey the fact that the addition is new.

## FINDINGS:

- a. The historic structure at 809 Burluson was constructed circa 1910 and is found on the 1912 Sanborn map. The structure was constructed in the Folk Victorian style and features both a front and side gabled roof, a decorative window awning on the front façade and a standing seam metal roof.
- b. COLUMN REPLACEMENT – The applicant has proposed to replace the existing, non-original wrought iron columns with new, wood columns. The proposed wood columns will feature a six (6) inch square profile. The Guidelines for Exterior Maintenance 7.B.iv. notes that replacement elements should be simple in design as to not detract from the historic character of the building. Generally, staff finds the proposed columns to be appropriate; however, staff finds that the new columns should feature capital and base trim, chamfered corners, and a painted finish.
- c. PAINTING – The applicant has proposed to paint the historic structure. This request is appropriate and consistent with the Guidelines for Exterior Maintenance and Alterations.
- d. ROOF REPLACEMENT – The applicant has proposed to replace the existing, standing seam metal roof with a new standing seam metal roof. The proposed, in-kind roof replacement is appropriate and consistent with the Guidelines. The proposed replacement roof should feature panels that are 18 to 21 inches in width, seams that are 1 to 2 inches in height, a crimped ridge seam and a standard galvalume finish. An on-site roofing inspection is to be scheduled with staff and performed prior to the installation of roofing materials.
- e. ROOF FORM MODIFICATIONS – The applicant has proposed to modify the existing roof form from a cross gabled roof with both front and side gables to a hipped roof with a front gable. The Guidelines for Exterior Maintenance and Alterations 3.B.ii. notes that the original shape, line, pitch, and overhang of historic roofs should be preserved when replacement is necessary. The proposed roof form modifications are inappropriate and inconsistent with the Guidelines.
- f. WOOD WINDOW REPLACEMENT – The applicant has proposed to replace the existing wood windows with new wood windows. Staff performed a site visit on November 9, 2021, and found the existing wood windows to be in a repairable condition. The proposed replacement of the existing wood windows is not consistent with the Guidelines for Exterior Maintenance and Alterations 6.A.iii. Staff finds that the existing wood windows should be preserved. Where sashes do not match, the applicant may perform modifications to ensure that sashes match; however, the existing, historic sashes are to be used.
- g. FENESTRATION MODIFICATIONS – The applicant has proposed fenestration modifications including relocating existing openings and enclosing four window openings. The Guidelines for Exterior Maintenance and Alterations 6.A.i. notes that existing window and door openings should be preserved. Staff finds the proposed modifications to be inappropriate and inconsistent with the Guidelines. Staff finds that all existing window openings should be preserved as they currently exist.
- h. WOOD DOOR REPLACEMENT – The applicant has proposed to replace the existing wood doors with new wood doors. The Guidelines for Exterior Maintenance and Alterations 6.A.ii. notes that existing doors should be preserved. Staff finds the proposed door replacement to be inappropriate and inconsistent with the Guidelines. Staff finds that the existing door should be preserved.
- i. FRONT DOOR OPENING REMOVAL – The historic structure currently features two front doors, one facing the street and one facing the side yard, a profile that is found throughout the Dignowity Hill Historic District. The applicant has proposed to eliminate the side yard facing front door. The Guidelines for Exterior

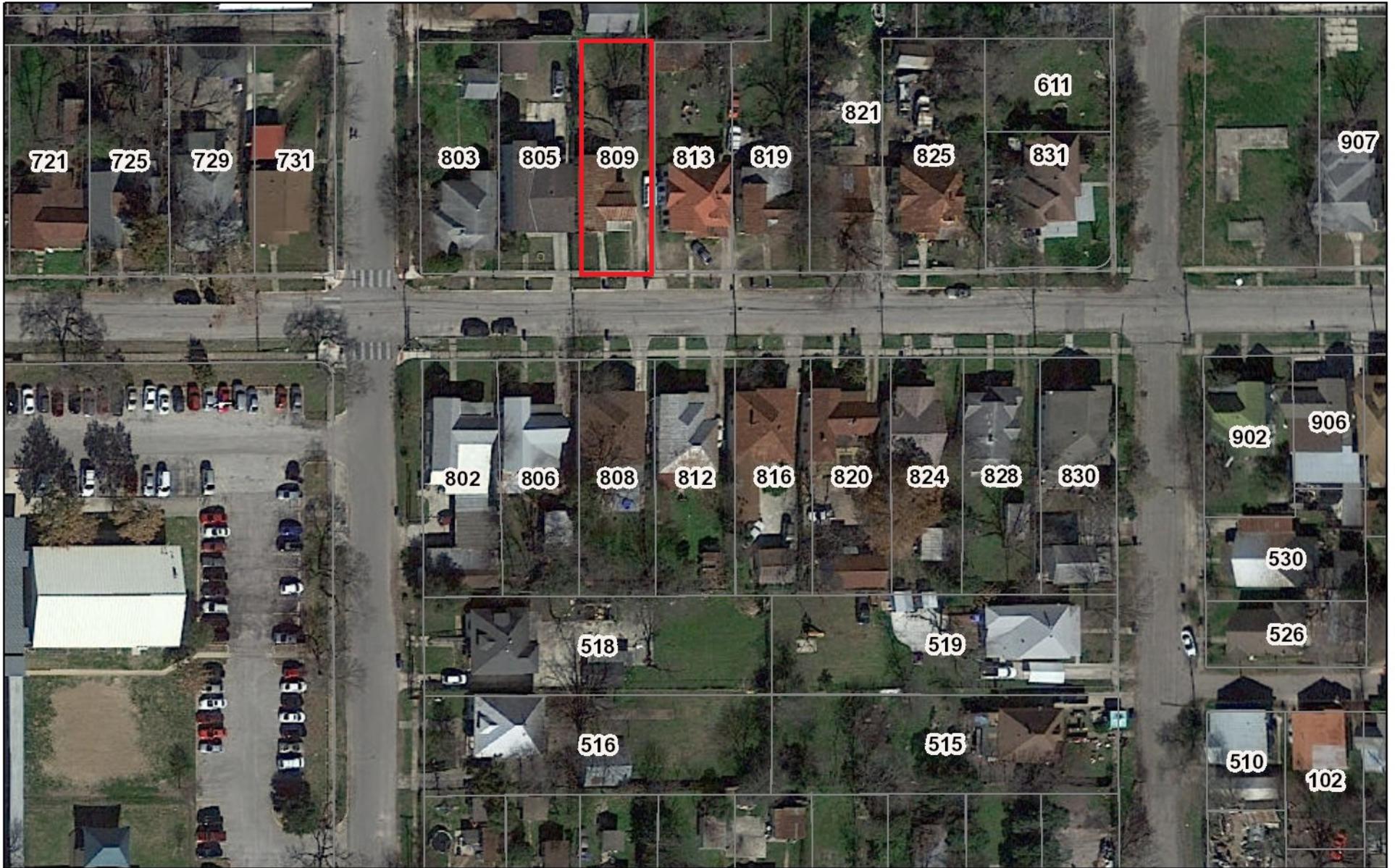
- Maintenance and Alterations 6.A.i. notes that existing window and door openings should be preserved. Staff finds the removal of the side yard facing front door to be inappropriate and inconsistent with the Guidelines.
- j. SHED AWNING REMOVAL – The applicant has proposed to remove an existing shed awning beneath the front facing gable. The awning feature materials and architectural details that are representative of the Folk Victorian style. Staff finds the removal of this element to be inappropriate.
  - k. REAR ADDITION – The applicant has proposed to construct a rear addition to feature 1, 340 square feet with a rear wood deck to feature approximately 250 square feet. The proposed addition will require the removal of an existing, rear addition, which is found on the 1912 Sanborn Map.
  - l. REAR ADDITION – The Guidelines for Additions 1.A. notes that additions should be sited to minimize view from the public right of way, should be designed to be in keeping with the existing, historic context of the block, should feature similar roof forms, and should feature a transition to differentiate the new addition from the historic structure. Additionally, the Guidelines for Additions 1.B notes that additions should be subordinate to the principal façade of the historic structure, should feature a footprint that responds to the size of the lot, and should feature an overall height that is generally consistent with that of the historic structure. Generally, staff finds the proposed addition to be inconsistent with the Guidelines. Staff finds that the proposed addition should be subordinate to the primary historic structure regarding footprint, massing, height, and roof form. The proposed addition should adhere to the Guidelines for Additions.
  - m. REAR ADDITION (Materials) – The applicant has noted the installation of a standing seam metal roof, vinyl windows and an unspecified siding material. Staff finds that wood or aluminum clad wood windows should be used in the rear addition that are consistent with staff's standards for windows in new construction and additions. Siding should either match that of the primary structure or feature a smooth finish, a thickness of ¾" and an exposure of four (4) inches, if composite siding is used.
  - n. REAR ADDITION (Architectural Details) – Generally, staff finds the proposed architectural details of the addition to be inconsistent with the Guidelines. The proposed addition features an overall form and massing that are inconsistent with the Guidelines, a roof form that is inconsistent with the Guidelines, a fenestration profile that is inconsistent with the Guidelines and materials that are inconsistent with the Guidelines. Staff finds that the proposed addition should be redesigned to be in keeping with the Guidelines.

## **RECOMMENDATION:**

1. Staff does not recommend approval of item #1, column replacement, based on finding b. Staff recommends the columns adhere to the following stipulation.
  - i. That the new columns should feature capital and base trim, chamfered corners, and a painted finish.
2. Staff does not recommend approval of item #2, painting. Staff recommends that existing, historic elements be maintained prior to the approval of painting.
3. Staff does not recommend approval of item #3, in-kind roof replacement. Staff recommends the following prior to the approval of roof replacement.
  - i. That proposed standing seam metal roof should feature smooth panels that are 18 to 21 inches wide, seams that are 1 to 2 inches in height, a crimped ridge seam and a standard galvalume finish.
  - ii. That the historic roof form is maintained.
4. Staff does not recommend approval of item #4, modifications to the historic roof form, based on finding e. Staff recommends the historic roof form and profile be maintained as they exist.
5. Staff does not recommend approval of item #5, wood window replacement and fenestration modifications based on findings f and g. Staff recommends that the existing wood windows be preserved and that all original window openings remain as they exist. Non-matching sashes may be relocated to make matching sets.
6. Staff does not recommend approval of item #6, wood door replacement, based on finding h. Staff recommends that all existing, wood doors be preserved.
7. Staff does not recommend approval of item #7, the removal of the side facing front door, based on finding i. Staff recommends this original door opening be preserved.
8. Staff does not recommend approval of item #8, removal of the existing front awning based on finding j. Staff recommends the awning remain in place as it exists.
9. Staff does not recommend approval of item #9, the construction of a rear addition based on findings k through n. Staff recommends that the addition feature a footprint, massing, roof form, materials and architectural details, including fenestration profiles that are consistent with the Guidelines for Additions.

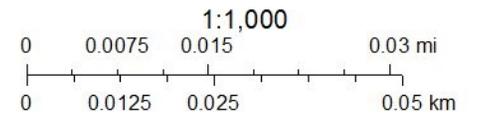
A standing seam metal roof inspection is to be schedule with OHP staff to ensure that roofing materials are consistent with approved design. An industrial ridge cap is not to be used.

# City of San Antonio One Stop



November 12, 2021

- CoSA Addresses
- Community Service Centers
- Pre-K Sites
- CoSA Parcels
- BCAD Parcels



1912 Sanborn Map



162

BURLESON

NOT PAVED

163

GRANT ST.

N. PALMETTO AV. Not Paved

AV. Not Paved

162

N. PALMETTO AV. Not Paved  
163

1369

1302

MUNCEY

NOT PAVED

LAMAR

NOT PAVED

158

MUNCEY

N. PALMETTO AV. Not Paved

164

HAYS

GRAVELLED

135

SHERMAN

SOUTHERN PACIFIC RAILROAD RESERVE BEYOND

1301

WILLOW

NOT PAVED

161

ADLER ST.

BURLESON

158

809

Scale of Feet.





directv

809





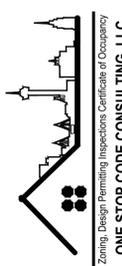


# BURLESON RESIDENCE

## 809 BURLESON

### SAN ANTONIO, TEXAS 78202

DESIGNER :



Zoning, Design, Permitting, Inspections, Certificate of Occupancy  
**ONE STOP CODE CONSULTING, LLC**  
 1650 W. HUISACHE AVE. SAN ANTONIO, TEXAS, 78201  
 Phone: (210) 778-8219 fdeleon@onestopcode.net



**BURLESON RESIDENCE**  
**809 BURLESON**  
**SAN ANTONIO, TX 78202**

DRAWN BY: **K.F.L.**

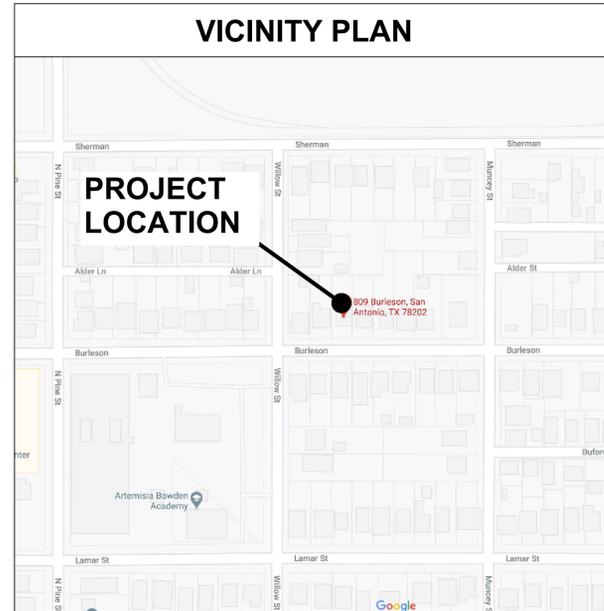
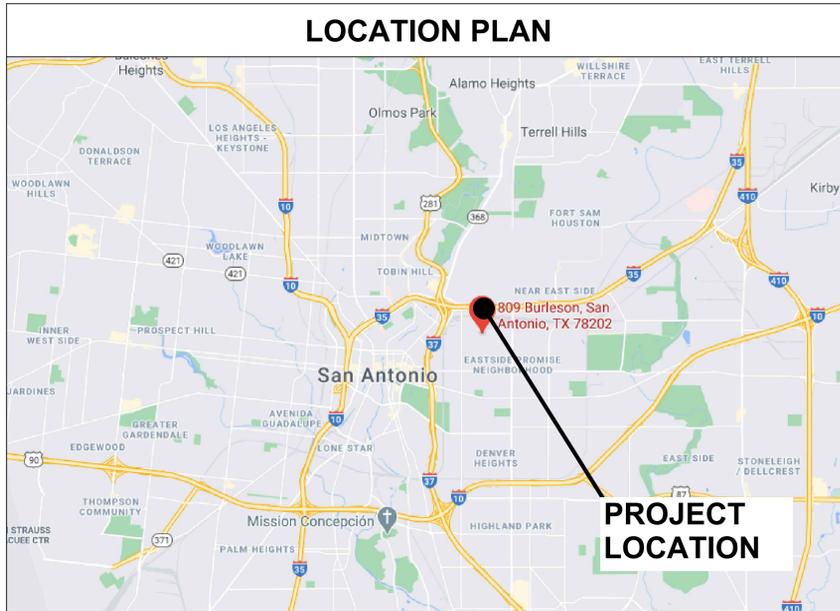
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DATE: 4/16/21

COMMENTS:

REVISIONS:

SHEET:  
**A-100**



INDEX OF DRAWINGS	
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S-2	CEILING JOIST PLAN
S-3	ROOF RAFTER PLAN
S-4	WIND BRACING PLAN
ARCHITECTURAL DRAWINGS	
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A-103	ELECTRICAL PLAN
A-104	PLUMBING PLAN
A-105	ROOF PLAN
A-106	ELEVATIONS
A-107	THERMAL ENVELOPE AND AIR BARRIER

**DESIGN TEAM**

**DESIGNER**

ONE STOP CODE CONSULTING, LLC.  
 1650 W. Huisache Ave.  
 San Antonio, TX 78201  
 EMAIL: fdeleon@onestopcode.net

**OWNER**

PAUL KURY  
 1150 N LOOP 1604 WEST SUITE 108  
 SAN ANTONIO, TEXAS 78248

**LEGAL DESCRIPTION**

LOT : 16  
 BLK: 2  
 N.C.B : 1301

**DESCRIPTION OF WORK:**

REMODELING AND ADDITION OF EXISTING RESIDENTIAL STRUCTURE

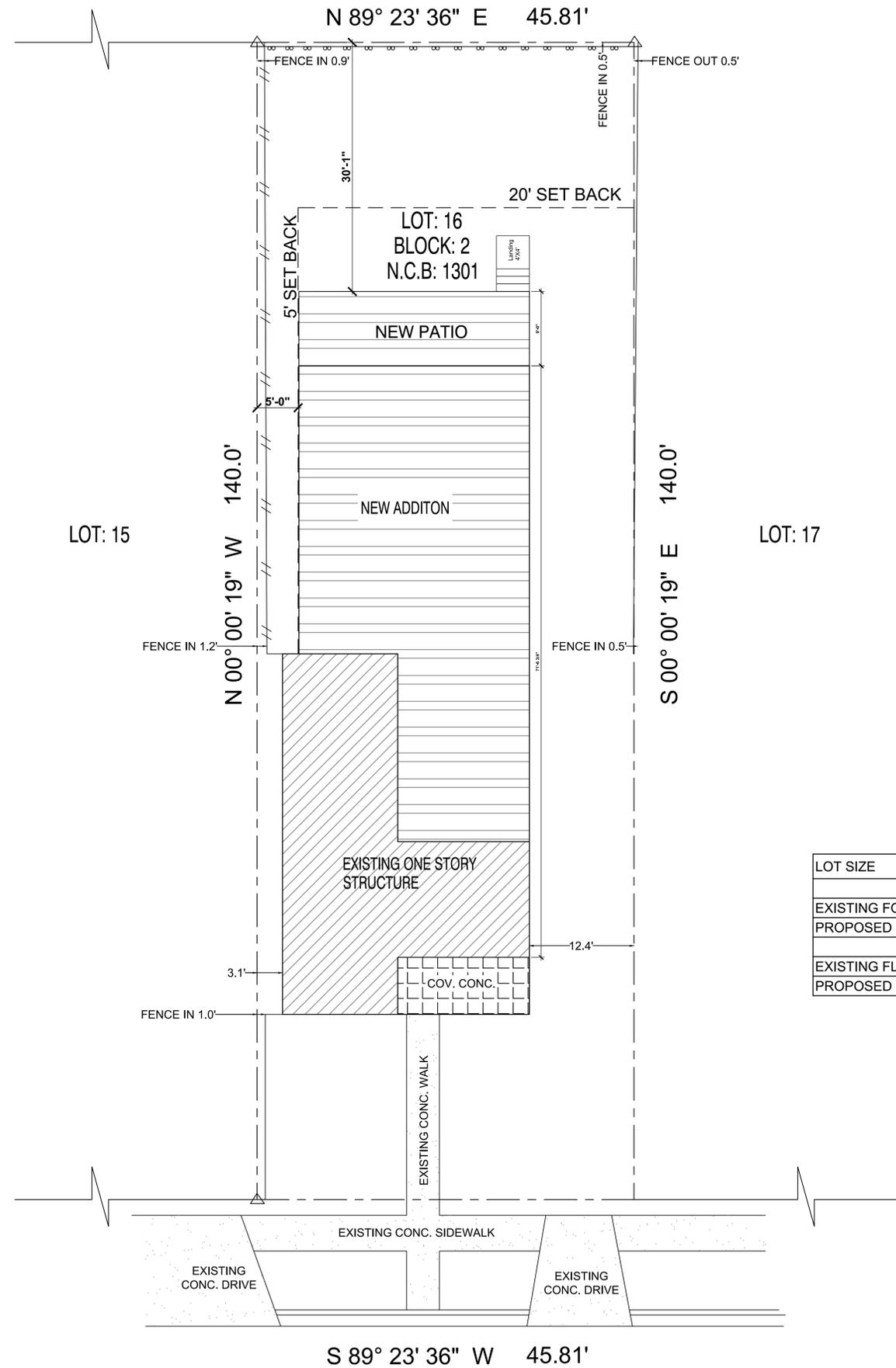
PROJECT INFORMATION	
SCOPE OF WORK	
EXISTING LIVING AREA	835 Sq-ft
EXISTING COV. CONC.	110 Sq-ft
ADDITION - LIVING AREA	1,340 Sq-ft
ADD - WOOD DECK	252 Sq-ft
TOTAL LIVING AREA	2,175 Sq-ft
FIRE ALARM SYSTEM	N/A
FIRE SPRINKLERS	N/A
<b>BUILDING CODE CRITERIA</b>	
BUILDING CODE	INTERNATIONAL RESIDENTIAL CODE IRC 2018
LOCAL AMENDMENTS	2018 CHAPTER 10 BUILDING RELATED CODES & CHAPTER 11 IFC
FIRE CODE	INTERNATIONAL FIRE CODE 2018
ENERGY CODE	INTERNATIONAL ENERGY & CONSERVATION CODE 2018
MECHANICAL CODE	INTERNATIONAL MECHANICAL CODE 2018
FUEL GAS CODE	INTERNATIONAL FUEL GAS CODE 2018
PLUMBING CODE	INTERNATIONAL PLUMBING CODE 2018
ELECTRICAL CODE	NATIONAL ELECTRICAL CODE 2017

**GENERAL CONSTRUCTION NOTES:**

**JOB SITE.** PRIOR TO SUBMITTING BID, CONTRACTOR SHALL VISIT JOB SITE AND NOTIFY OWNER OF ANY CONDITIONS NOT INCLUDED IN THESE DOCUMENTS WHICH REQUIRE CORRECTIVE OR ADDITIONAL ACTIONS. NO CHANGES TO PLANS TO BE MADE WITHOUT WRITTEN APPROVAL BY THE ARCHITECT/DESIGNER/ENGINEER . REPORT ANY DISCREPANCIES TO THE ARCHITECT/DESIGNER/ENGINEER.

**DIMENSIONS.** ALL DIMENSIONS NEED TO BE VERIFY BY THE CONTRACTOR PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ARCHITECT/DESIGNER/ENGINEER.

**CHANGES OR MODIFICATIONS TO PLANS.** ANY MINOR OR REQUIRED CHANGES OR MODIFICATIONS TO THIS PLAN DO NOT REDUCE OR VOID THE COPYRIGHTS COVERING THIS SET OF PLANS IN ANY WAY. MODIFICATIONS TO THIS PLAN, FOR ANY REASON, SHOULD BE ATTEMPTED BY AN ARCHITECT/ENGINEER/ DESIGNER ONLY. ARCHITECT/DESIGNER/ENGINEER ACCEPTS NO RESPONSIBILITY FOR THE QUALITY AND COMPLETENESS OF ANY CHANGES ATTEMPTED. PLEASE REMEMBER THAT EVEN A SIMPLE CHANGE TO ONE AREA OF A HOME CAN GREATLY AFFECT MANY OTHER AREAS IN THE HOME AND ONLY A QUALIFIED PROFESSIONAL IS EQUIPPED TO FULLY UNDERSTAND THE RAMIFICATIONS OF ANY CHANGE OR MODIFICATION.



LOT SIZE	6,413 Sq-ft
EXISTING FOUNDATION	945 Sq-ft
PROPOSED FOUNDATION	1,591 Sq-ft
EXISTING FLAT WORK	90 Sq-ft
PROPOSED FLAT WORK	16 Sq-ft

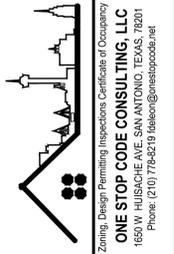
1 SITE PLAN  
SCALE: 1/8" = 1'-0"



**GENERAL NOTES:**

- Plans indicate general scope of work, contractor shall field verify existing conditions and shall provide all required demolition work and new construction shown plans, or not shown to meet the design intent.
- Contractor shall field verify dimensions and all existing conditions prior to the start of any work. Contractor shall notify the architect in writing of any existing conditions which do not conform to those indicated on the drawings prior to proceeding with the work.
- The contractor shall be responsible for periodic cleaning and final cleaning of the work areas daily of all trash and debris. Remove trash daily.
- Contractor shall accept building and site in its original condition. Any damage occurred to site or building during time of construction period shall be repaired to match original condition at the contractor's expense.
- The general contractor shall construct and maintain any and all construction barricades, and other protection devices as required by and in compliance with any and all building codes, agencies and regulations applicable to the project.
- The drawings shall be read in conjunction with other consultant's drawings and with such other written instructions or sketches as may be issued during the course of the contract. Any discrepancy shall be referred to the project coordinator and the architect, before proceeding with any work.
- Protection of existing work: Before beginning any cutting or demolition work, The Contractor shall carefully survey the existing work and examine the drawings and specifications to determine the extent of the work. The contractor shall take all necessary precautions to remain the property of the owner, and any damage to such work shall be repaired or replaced as approved by contracting officer.
- Walls / surfaces which are altered by new work shall be patched and repaired to match with adjacent wall surfaces. The level of patch work shall be of the highest quality and the owner shall have final approval of such work.
- All Excavations by the removal of site utilities and foundations shall be backfilled as specified.
- All bidders will be required to visit the job site prior to bidding to familiarize themselves with the building and its contents.
- Notes listed in these contract documents are for informal purposes only. It is the contractor's responsibility to remove and dispose of additional incidental items contained in the building whether noted or not.
- The general contractor shall furnish all materials, labor and equipment as required to complete all work and furnish a complete job, in accordance with local, state and federal governing authorities having lawful jurisdiction over the work.
- The general contractor shall secure and pay for all permits and inspections required; The general contractor shall also pay all tap and meter fees required for the plumbing, electrical and HVAC. Fire sprinkler subcontractor shall pay for their permits and taps.
- Equipment may be located on these drawings diagrammatically. Subcontractors shall coordinate with the general contractor when location of such items are in conflict with structural conditions or work from other trades. Questions shall be directed to Architect and his decisions shall be final. No additional cost will be incurred due to conflicts.
- Contractor shall comply with all ordinances, laws, codes and regulations enforced by the local regulatory authority.
- Provide edge strips at all applied floor finish material transitions.
- General contractor to provide continuous blocking for all cabinets, curtain rods, toilet accessories, handrails, door jambs, countertops, drywall catches and similar items.
- Fire stop all openings around pipes, conduits, etc. Where they penetrate any floor or fire rated wall (if applicable).
- Provide access panels at all valves and similar areas where access is required. Access panels are to be rated as required. Subcontractors to advise general contractor of necessary locations. All panels to be furnished and installed by drywall contractor. Locations Shall be Approved by Architect.

DESIGNER :



ONE STOP CODE CONSULTING, LLC  
1650 W. HUISACHE AVE. SAN ANTONIO, TEXAS, 78201  
Phone: (210) 778-8219 [info@onestopcode.com](mailto:info@onestopcode.com)



**BURLESON RESIDENCE**  
**809 BURLESON**  
**SAN ANTONIO, TX 78202**

DRAWN BY: **K.F.L.**

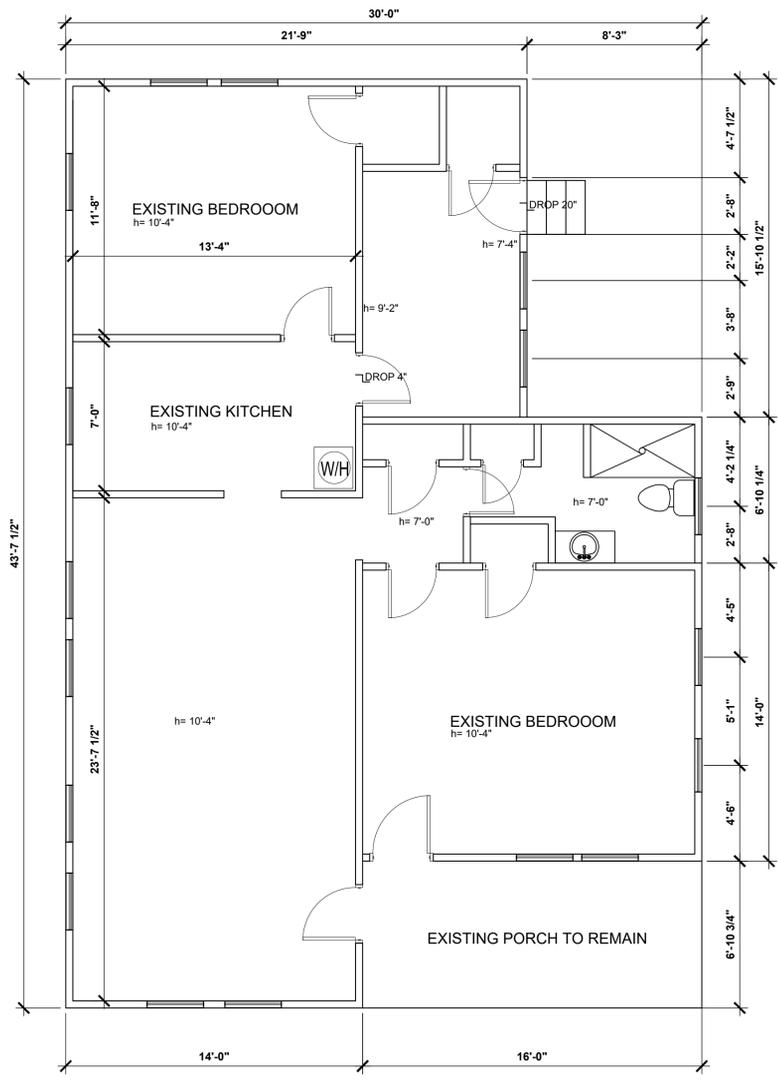
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DATE: 4/16/21

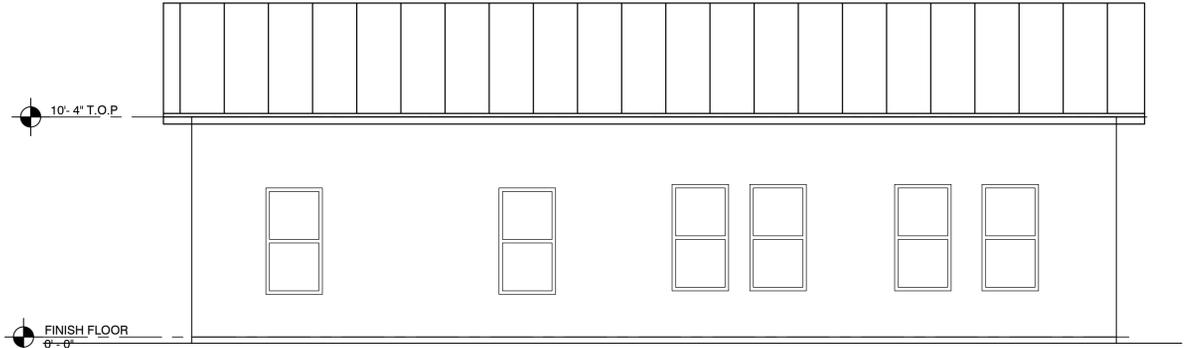
COMMENTS:

REVISIONS:

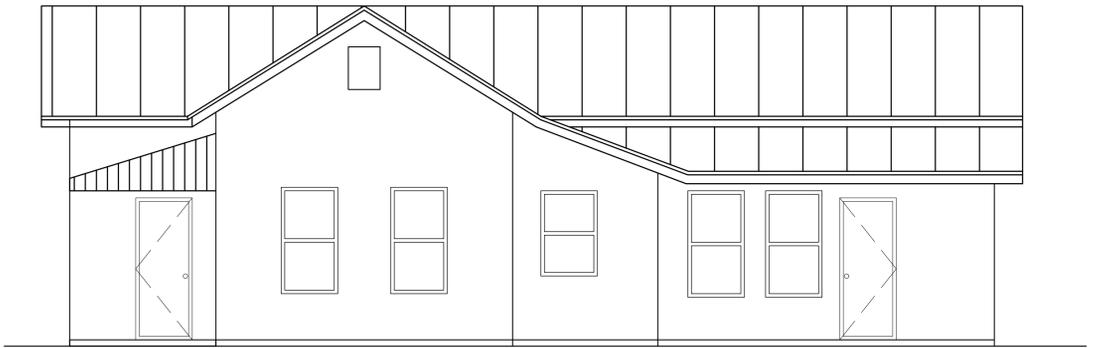
SHEET:  
**C-1**



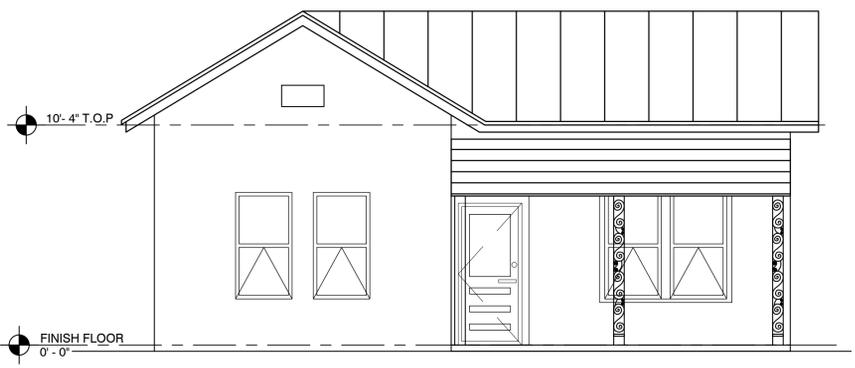
**1** EXISTING FLOOR PLAN  
SCALE: 1/4" = 1'-0"



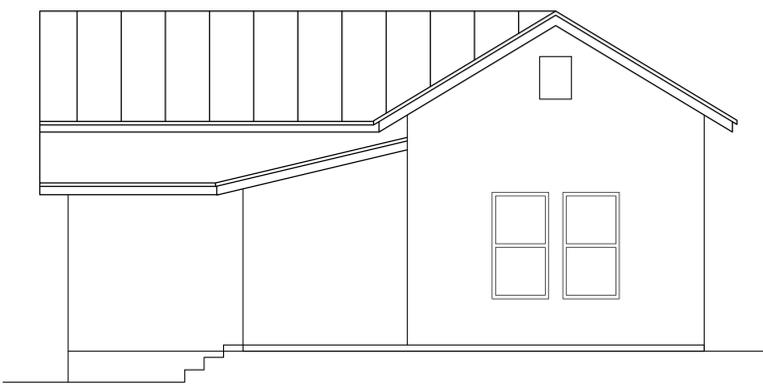
Existing - Left Elevation



Existing - Right Elevation



Existing - Front Elevation



Existing - Back Elevation

**2** EXISTING ELEVATIONS  
SCALE: 1/4" = 1'-0"

DESIGNER :  
  
 Zoning, Design, Permitting, Inspections, Certificate of Occupancy  
**ONE STOP CODE CONSULTING, LLC**  
 1650 W. HUISACHE AVE. SAN ANTONIO, TEXAS, 78201  
 Phone: (210) 778-8219 [info@onestopcode.com](mailto:info@onestopcode.com)

**BURLESON RESIDENCE**  
 809 BURLESON  
 SAN ANTONIO, TX 78202

DRAWN BY: **K.F.L.**

CHECKED BY: **F.D.L.**

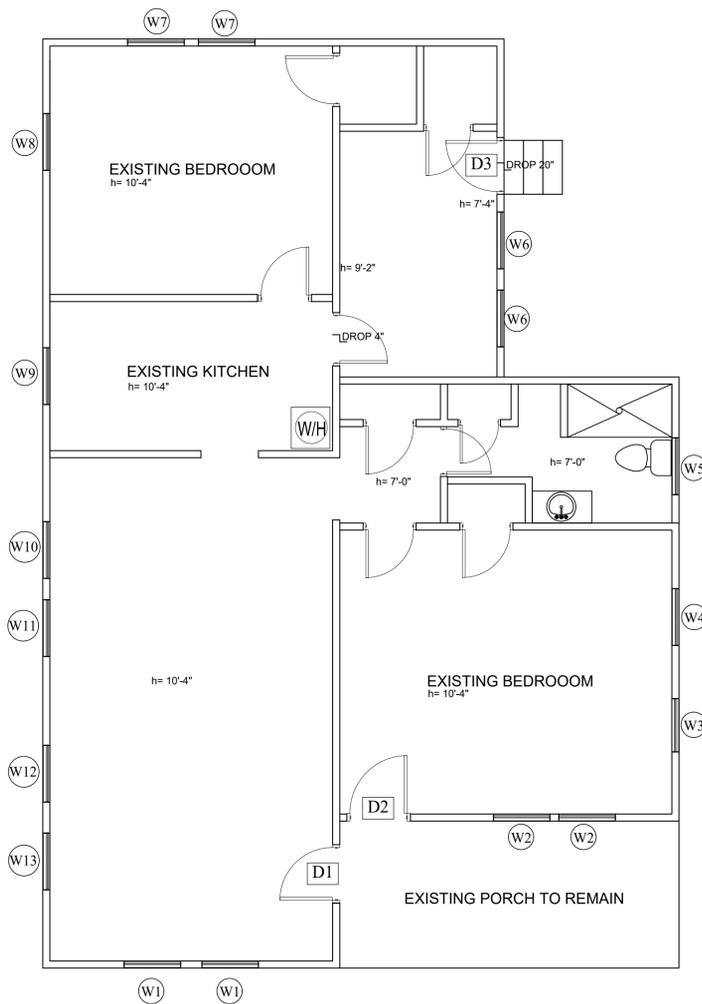
DATE: 4/16/21

COMMENTS:

REVISIONS:

SHEET:

**A-1**



1 EXISTING FLOOR PLAN  
SCALE: 1/4" = 1'-0"



EXISTING WINDOWS



W1 W2 W3 W4 W5 W6



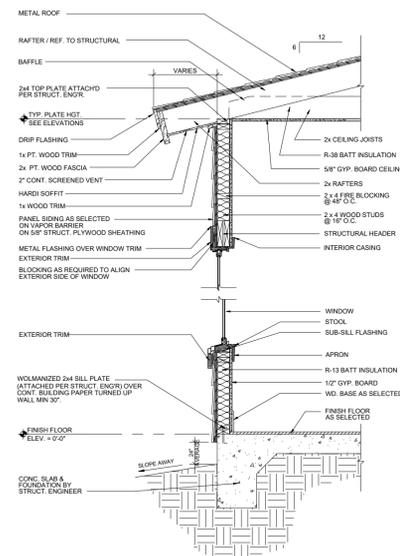
W7 W8 W9 W10 W11 W12 W13

EXISTING DOORS



D1 D2 D3

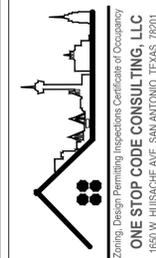
DOOR SCHEDULE	
Designation	Description
D1	Door to be Replaced with a new window unit primed and painted wood exterior finish
D2	Full replacement with a new Wood Single Door With One Sidelite
D3	Closed Door to be replaced with siding



TYP WALL SECTION

WINDOW SCHEDULE	
Designation	Description
W1	Full replacement with a new window unit primed and painted wood exterior finish
W2	Relocate and Full replacement with a new window unit primed and painted wood exterior finish
W3	Full replacement with a new window unit primed and painted wood exterior finish
W4	Relocate and Full replacement with a new window unit primed and painted wood exterior finish
W5	Closed window to be replaced with siding
W6	Closed window to be replaced with siding
W7	Closed window to be replaced with siding
W8	Relocate and Full replacement with a new window unit primed and painted wood exterior finish
W9	Relocate and Full replacement with a new window unit primed and painted wood exterior finish
W10	Relocate and Full replacement with a new window unit primed and painted wood exterior finish
W11	Closed window to be replaced with siding
W12	Relocate and Full replacement with a new window unit primed and painted wood exterior finish
W13	Relocate and Full replacement with a new window unit primed and painted wood exterior finish

DESIGNER :



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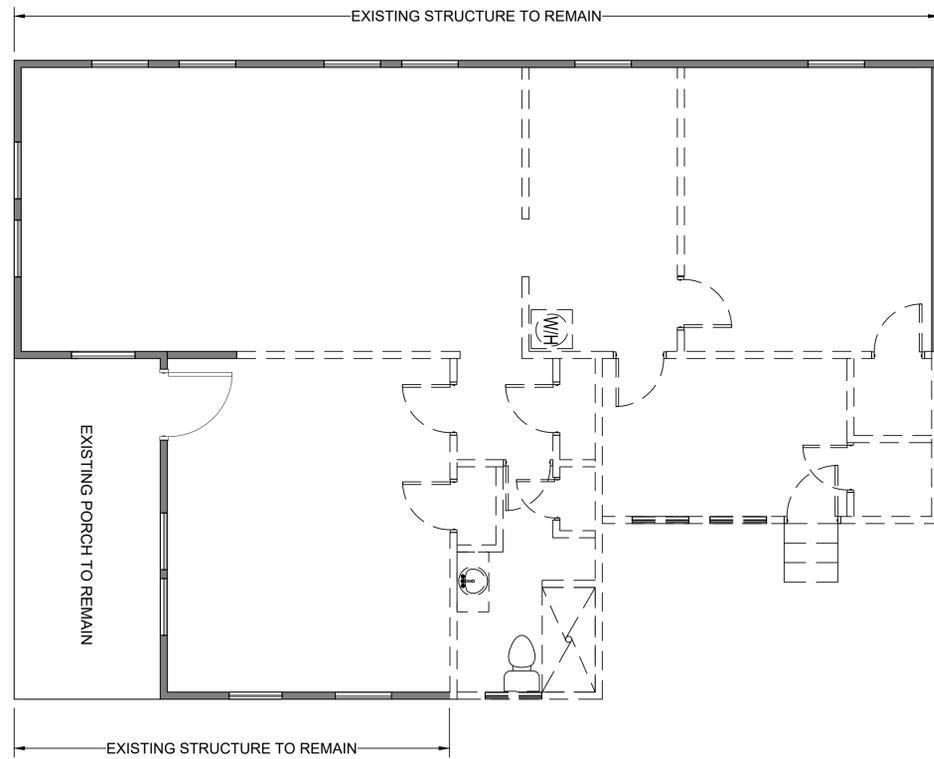
DATE: 9/22/21

COMMENTS:

REVISIONS:

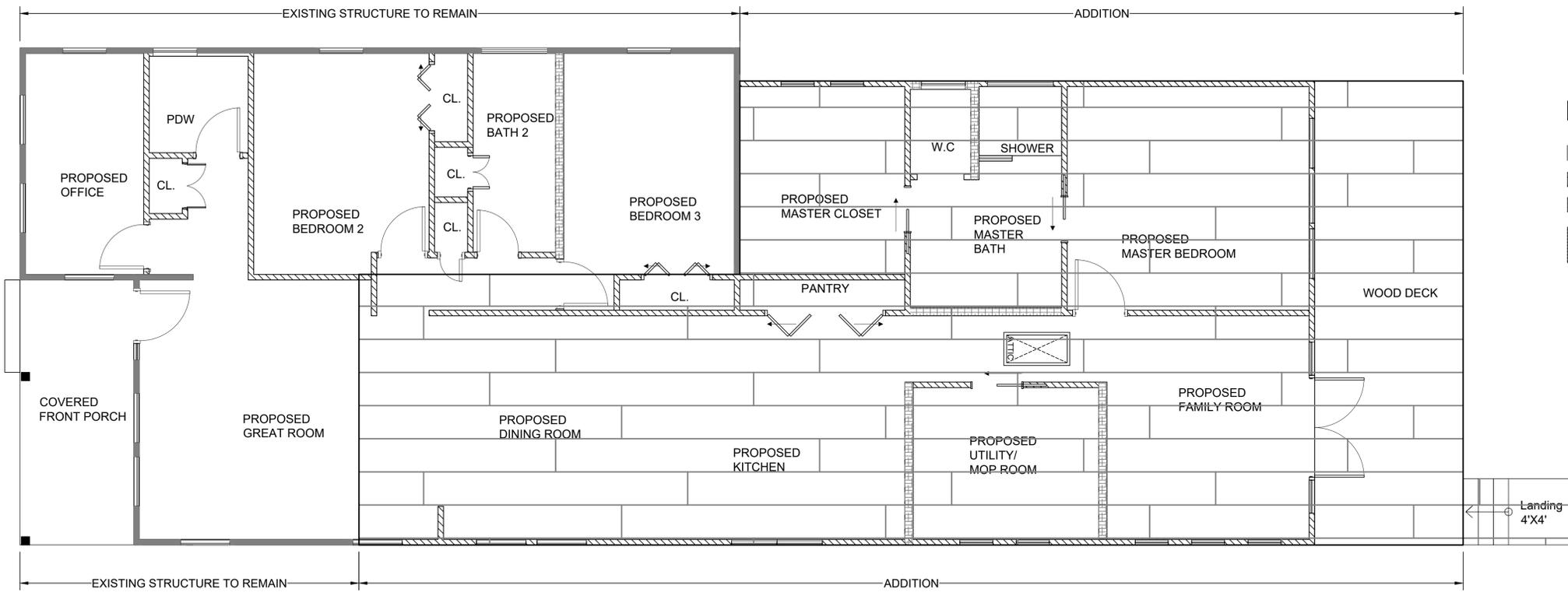
SHEET:

A-2



**LEGEND:**  
 ——— EXISTING WALL TO REMAIN  
 - - - - - DEMOLITION WALL

**1 DEMOLITION PLAN**  
 SCALE: 1/4" = 1'-0" NORTH



**LEGEND:**  
 ——— EXISTING WALL TO REMAIN  
 ▨ NEW WALL 2"X4"  
 ▩ NEW WALL 2"X6"  
 ▧ PROPOSED ADDITION TO EXISTING STRUCTURE

**2 PROPOSED PLAN**  
 SCALE: 1/4" = 1'-0" NORTH

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DRAWN BY: **K.F.L.**

CHECKED BY: **F.D.L.**

DATE: 4/16/21

**COMMENTS:**

**REVISIONS:**

**SHEET:**  
**D-101**

**GENERAL NOTES**

- GN 1. CONTRACTOR TO VERIFY ALL DIMENSIONS, DROP AREAS AND BLOCK-OUT LOCATIONS WITH ARCHITECT'S FLOOR PLAN.
- GN 2. PROVIDE POSITIVE DRAINAGE AWAY FROM THE SLAB PERIMETER. THE FINISHED SLAB ELEVATION SHOULD BE A MINIMUM OF 8 INCHES ABOVE THE SURROUNDING OUTSIDE FINISHED GRADE. THE GROUND SHOULD BE SLOPED DOWN A MINIMUM OF 6" IN THE FIRST FIVE FEET AND ANY RESULTING SWALE SHALL HAVE A MINIMUM SLOPE OF 5%.
- GN 3. ALL AIR CONDITIONING CONDENSER DRAIN LINES TO DISCHARGE CONDENSATE WATER A MINIMUM OF 2 FEET FROM THE PERIMETER OF THE HOUSE. THE DISCHARGE AREA SHOULD HAVE SUFFICIENT SLOPE TO PREVENT PONDING WATER.
- GN 4. FOR TOTAL BEAM DEPTHS IN EXCESS OF 36" ADD 2 ADDITIONAL BARS (SAME SIZE AS BOTTOM BARS) AT MID-HEIGHT OF BEAM CONTINUOUS HORIZONTALLY.
- GN 5. THE STEEL REINFORCED FOUNDATION AND THE SURROUNDING FLATWORK SHALL BE IMPLEMENTED IN A MANNER WHICH ALLOWS FOR INDEPENDENT MOVEMENT. (NO DOWELS ARE TO BE PLACED BETWEEN FOUNDATION, WALKS AND DRIVES).

**STRUCTURAL DESIGN CRITERIA**

1. THE 2018 INTERNATIONAL BUILDING CODE IS THE BASIC CODE DOCUMENT USED IN THE PREPARATION OF THESE DOCUMENTS.

STRUCTURAL DESIGN IS BASED ON THE FOLLOWING:

FLOOR LIVE LOADS: Pier and Wd Beams = 100 PSF  
FLOOR DEAD LOADS: Wood Deck = 20 PSF

ROOF LIVE LOADS: N/A  
ROOF DEAD LOADS: N/A

GROUND SNOW LOAD = 5 PSF, IMPORTANCE FACTOR (I) = 1.0

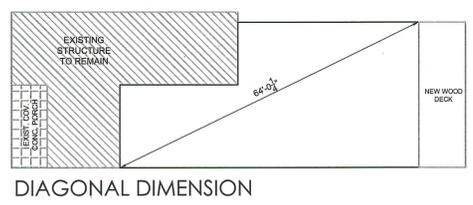
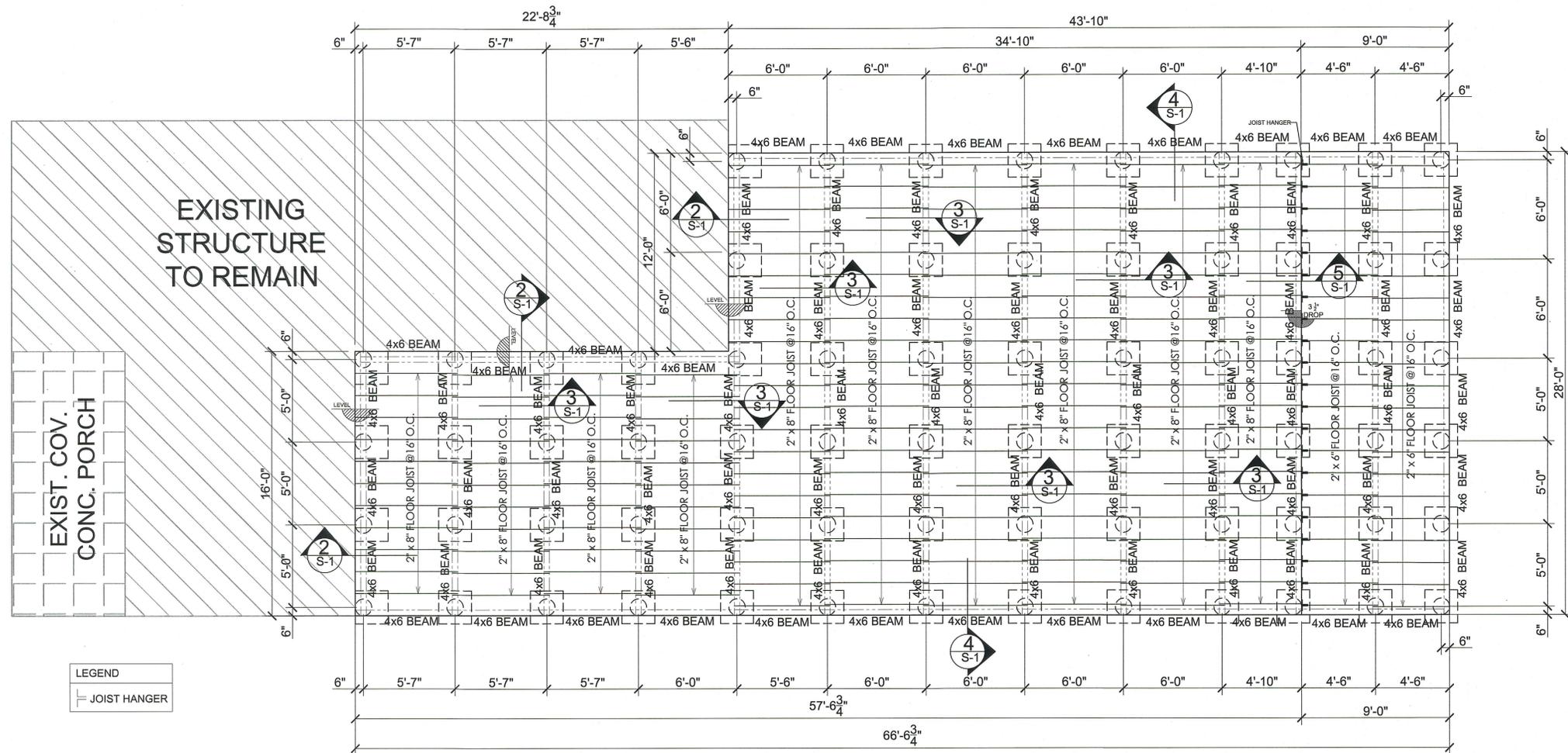
DEAD LOAD COMBINATIONS (ALLOWABLE STRESS DESIGN METHOD)  
D  
D + L  
D + L + (Lr or S or R)  
D + (W or 0.7E) + L + (Lr or S or R)  
0.6D + W  
0.6D + 0.7E

WIND LOADS  
ASCE 7 METHOD 2 - BUILDING AND OTHER STRUCTURES <= 60 FT.  
BASIC WIND SPEED (3 SEC. GUST) = 115 MPH, BASIC WIND PRESS. = 16 PSF.  
STRUCTURE TYPE = BUILDING  
STRUCTURE CLASSIFICATION CATEGORY II, EXPOSURE CATEGORY B.  
TOPOGRAPHIC EFFECTS (Kzt) = 1.0, GUST EFFECT FACTOR (Gf) = 0.85, RIGID STRUCTURE.  
ENCLOSURE CLASSIFICATION: ENCLOSED  
UPLIFT: 7 PSF

SEISMIC LOADS  
SEISMIC USE GROUP 1  
SHORT DURATION Ss = 0.104  
ONE SECOND DURATION Sd1 = 0.031  
SITE CLASS = C  
SEISMIC DESIGN CATEGORY = A  
BASIC SEISMIC-FORCE-RESISTING SYSTEM = ORDINARY STEEL MOMENT FRAME  
ANALYSIS PROCEDURE = SIMPLIFIED

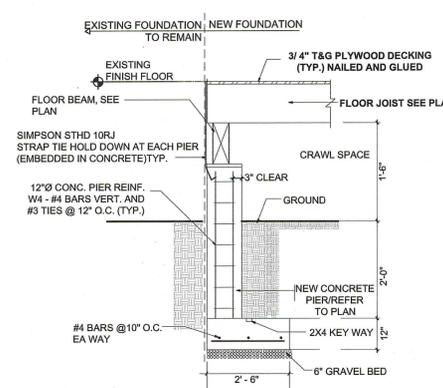
SOIL DESIGN PARAMETERS: (ASSUMED)  
THE SOIL SUPPORTING THE FOUNDATION ARE EXPANSIVE WITH AN EFFECTIVE PLASTICITY INDEX (PI) > 15

MINIMUM EXTERIOR PIER DEPTH BELOW FINAL GRADE = 24"  
SOIL UNCONFINED COMPRESSION qu = 2800 - 3000 PSF.  
SOIL CLIMATIC RATING (Cw) = 17 (SAN ANTONIO AREA)

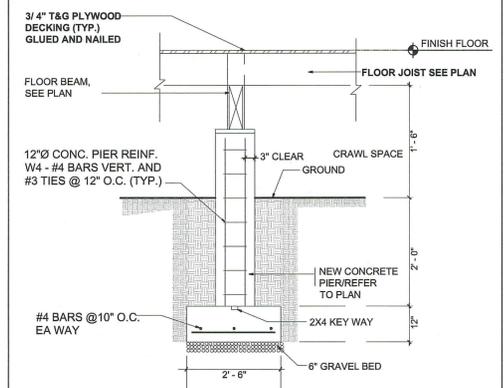


**DIAGONAL DIMENSION**

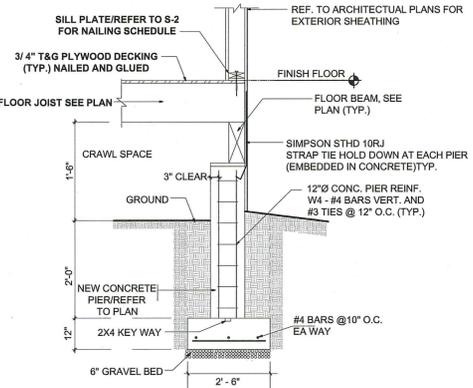
**1 FOUNDATION PLAN**  
SCALE: 1/4" = 1'-0"  
NORTH



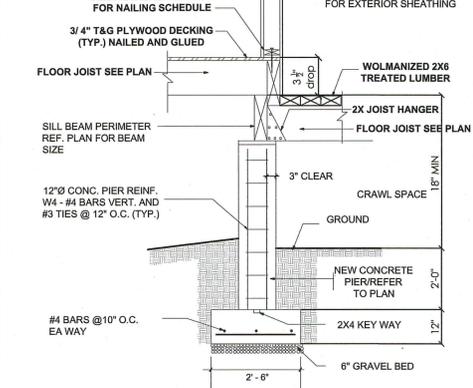
**2 PIER AND BEAM DETAIL**  
SCALE: NONE



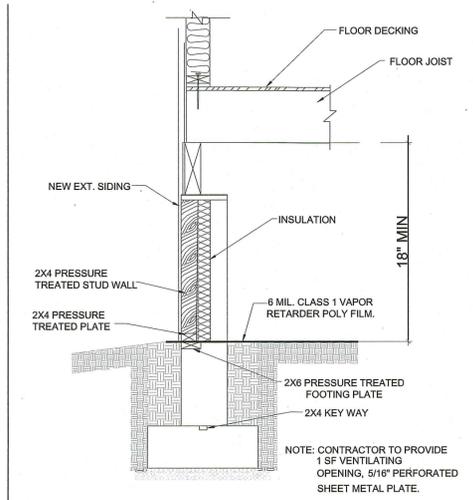
**3 INT. PIER DETAIL**  
SCALE: NONE



**4 DETAIL**  
SCALE: NONE



**5 PIER W/ BEAM AND JOIST DETAIL**  
SCALE: NONE



**6 PERMANENT WOOD FOUNDATION CRAWL SPACE DETAIL**  
SCALE: NONE

**DESIGNER:**

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SAN ANTONIO, TX 78202

DRAWN BY: K.F.L.  
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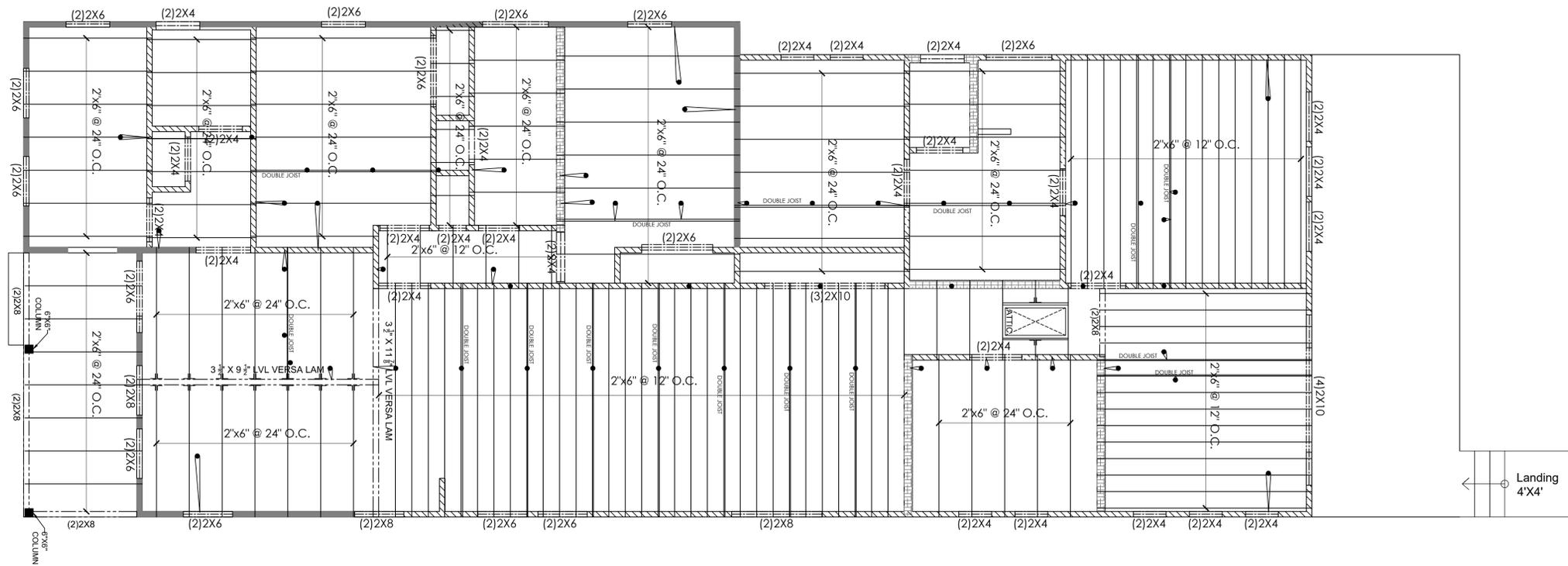
DATE: 4/09/21

**COMMENTS:**

**REVISIONS:**

**SHEET:**

**S-1**



**1 CEILING (JOIST) FRAMING PLAN**  
SCALE: 1/4" = 1'-0"  
NORTH

HANGER SCHEDULE		
MEMBER	HANGER	REACTION (LBS.)
2x DIMENSIONAL LUMBER		
4 5/8"	4 5/8"	4 5/8"
4 5/8"	4 5/8"	4 5/8"
4 5/8"	4 5/8"	4 5/8"
4 5/8"	4 5/8"	4 5/8"
4 5/8"	4 5/8"	4 5/8"
LSL, LVL, & PSL: (2) PLY		
3 1/2" x 9 1/4"	HUS410	2,010
3 1/2" x 11 7/8"	HUS412	2,510
3 1/2" x 14"	HUS416	2,680
3 1/2" x 16"	HGUS410	8,780
3 1/2" x 18"	HGUS412	9,155
LSL, LVL, & PSL: (3) PLY		
5 1/4" x 9 1/4"	HUS610	1,875
5 1/4" x 11 7/8"	HHUS5.50/10	5,190
5 1/4" x 14"	HHUS5.50/10	5,190
5 1/4" x 16"	HHUS5.50/10	5,190
5 1/4" x 16"	HGUS5.50/14	11,180
* THESE HANGER ARE TO BE USED, U.N.O. ON PLAN		
* THESE HANGERS AR MANUFACTURED BY SIMPSON STRONG TIE, OR EQUAL		

**FRAMING NOTES:**

ALL WOOD POST TO BE 6" x 6" TREATED WOOD, YELLOW PINE S.Y.P. # 2.

CEILING JOIST SHALL BE S.Y.P. #2.

RAFTER SHALL BE S.Y.P. #2.

ALL HIP, VALLEY AND RIDGE MEMBERS SHALL BE S.Y.P. #2 AND SUPPORTED @ 8' O.C.

PROVIDE 2x4 COLLAR TIES @ 4'-0" O.C. MAX. AT RAFTERS.

VERIFY ROOF PITCH ON SITE.

PURLINS SHALL MATCH THE SIZE OF THE RAFTERS SUPPORTED AND SHALL BE @ 4'-0" O.C. MAX.

SEE ATTACHED "HEADER SCHEDULE" FOR HEADER SIZES AT OPENINGS. SEE SHEET SF2.

NAIL 2-PY AND 3-PLY LVL'S TOGETHER WITH (3)-ROWS OF 16d BOX NAILS AT 12" CENTERS, AT BOTH SIDES. DO NOT USE PNEUMATIC NAILER.

BOLT 4-PLY LVL'S TOGETHER WITH (2)-ROWS OF 1/2"Ø BOLTS AT 12" CENTERS.

BOLT 5-PLY LVL'S TOGETHER WITH (2)-ROWS OF 1/2"Ø BOLTS AT 6" CENTERS.

DRILL 9/16"Ø (MAX) HOLES FOR BOLTS.

**LEGEND**

- AREA
- OUTLINE
- CEILING JOISTS
- FLOOR JOISTS
- RAFTER
- BEAM
- HEADER
- PURLIN
- PURLIN SUPPORT
- SUPPORT
- JOIST HANGER (SEE SCHEDULE)
- HANGER (SEE SCHEDULE)
- SOLID BLOCKING
- RAFTER STRAP
- TREATED WOOD POST (6" x 6")

IRC 2018-TABLE R602.7(2) GIRDER SPANS AND HEADER SPANS FOR INTERIOR BEARING WALLS

GIRDERS AND HEADERS SUPPORTING	SIZE	BUILDING WIDTH (FEET)					
		20		28		36	
		SPAN	NJ	SPAN	NJ	SPAN	NJ
ONE FLOOR ONLY	2-2X4	3'-1"	1	2'-8"	1	2'-5"	1
	2-2X6	4'-6"	1	3'-11"	1	3'-6"	1
	2-2X8	5'-9"	1	5'-0"	2	4'-5"	2
	2-2X10	7'-0"	2	6'-1"	2	5'-5"	2
	2-2X12	8'-1"	2	7'-0"	2	6'-3"	2
	3-2X8	7'-2"	1	6'-3"	1	5'-7"	2
	3-2X10	8'-9"	1	7'-7"	2	6'-9"	2
	3-2X12	10'-2"	2	8'-10"	2	7'-10"	2
	4-2X8	9'-0"	1	7'-8"	1	6'-9"	1
	4-2X10	10'-1"	1	8'-9"	1	7'-10"	2
TWO FLOORS	2-2X4	2'-2"	1	1'-10"	1	1'-7"	1
	2-2X6	3'-2"	2	2'-9"	2	2'-5"	2
	2-2X8	4'-1"	2	3'-6"	2	3'-2"	2
	2-2X10	4'-11"	2	4'-3"	2	3'-10"	3
	2-2X12	5'-9"	2	5'-0"	3	4'-5"	3
	3-2X8	5'-1"	2	4'-5"	2	3'-11"	2
	3-2X10	6'-6"	2	5'-4"	2	4'-10"	2
	3-2X12	7'-2"	2	6'-3"	2	5'-7"	3
	4-2X8	6'-1"	1	5'-3"	2	4'-8"	2
	4-2X10	7'-2"	2	6'-2"	2	5'-6"	2
4-2X12	8'-4"	2	7'-2"	2	6'-5"	2	

**DESIGNER :**

Zoning, Design, Permitting, Inspections, Certificate of Occupancy  
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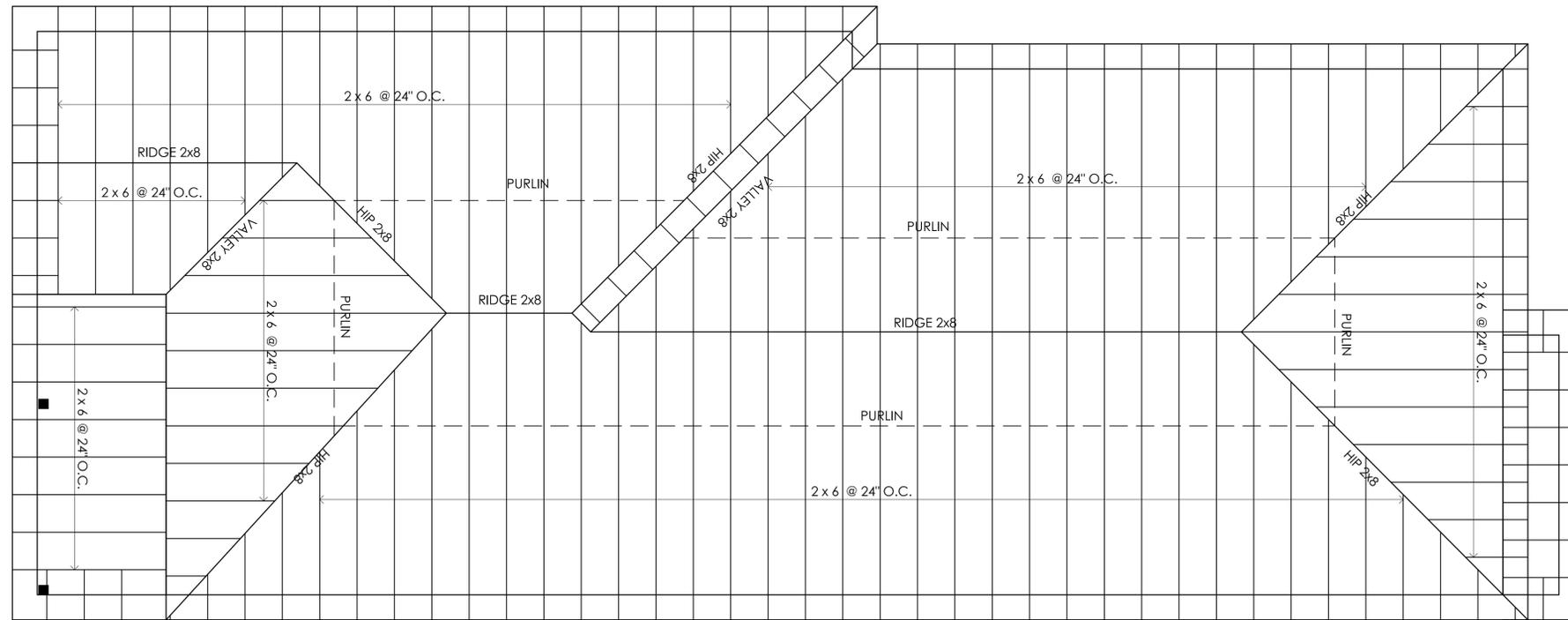
DRAWN BY: **K.F.L.**  
 CHECKED BY: **F.D.L.**  
 DATE: 4/16/21

**COMMENTS:**

**REVISIONS:**

**SHEET:**

**S-2**



**1 ROOF (RAFTER) FRAMING PLAN**  
 SCALE: 1/4" = 1'-0" NORTH

HANGER SCHEDULE		
MEMBER	HANGER	REACTION (LBS.)
2x DIMENSIONAL LUMBER		
4 5/8"	4 5/8"	4 5/8"
4 5/8"	4 5/8"	4 5/8"
4 5/8"	4 5/8"	4 5/8"
4 5/8"	4 5/8"	4 5/8"
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3 1/2" x 18"	HGUS412	9,155
LSL, LVL, & PSL: (3) PLY		
5 1/4" x 9 1/4"	HUS610	1,875
5 1/4" x 11 7/8"	HHUS5.50/10	5,190
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* THESE HANGER ARE TO BE USED, U.N.O. ON PLAN		
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CEILING JOIST SHALL BE S.Y.P. #2 .

RAFTER SHALL BE S.Y.P. #2 .

ALL HIP, VALLEY AND RIDGE MEMBERS SHALL BE S.Y.P. #2 AND SUPPORTED @ ±8' O.C.

PROVIDE 2x4 COLLAR TIES @ 4'-0" O.C. MAX. AT RAFTERS.

VERIFY ROOF PITCH ON SITE.

PURLINS SHALL MATCH THE SIZE OF THE RAFTERS SUPPORTED AND SHALL BE @ 4'-0" O.C. MAX.

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BOLT 5-PLY LVL'S TOGETHER WITH (2)-ROWS OF 1/2"Ø BOLTS AT 6" CENTERS.

DRILL 9/16"Ø (MAX) HOLES FOR BOLTS.

- LEGEND**
- AREA
  - OUTLINE
  - CEILING JOISTS
  - FLOOR JOISTS
  - RAFTER
  - BEAM
  - HEADER
  - PURLIN
  - PURLIN SUPPORT
  - SUPPORT
  - JOIST HANGER (SEE SCHEDULE)
  - HANGER (SEE SCHEDULE)
  - SOLID BLOCKING
  - RAFTER STRAP
  - TREATED WOOD POST (6" X 6")

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	2-2X6	4'-6"	1	3'-11"	1	3'-6"	1
	2-2X8	5'-9"	1	5'-0"	2	4'-5"	2
	2-2X10	7'-0"	2	6'-1"	2	5'-5"	2
	2-2X12	8'-1"	2	7'-0"	2	6'-3"	2
	3-2X8	7'-2"	1	6'-3"	1	5'-7"	2
	3-2X10	8'-9"	1	7'-7"	2	6'-9"	2
	3-2X12	10'-2"	2	8'-10"	2	7'-10"	2
	4-2X8	9'-0"	1	7'-8"	1	6'-9"	1
	4-2X10	10'-1"	1	8'-9"	1	7'-10"	2
TWO FLOORS	4-2X12	11'-9"	1	10'-2"	2	9'-1"	2
	2-2X4	2'-2"	1	1'-10"	1	1'-7"	1
	2-2X6	3'-2"	2	2'-9"	2	2'-5"	2
	2-2X8	4'-1"	2	3'-6"	2	3'-2"	2
	2-2X10	4'-11"	2	4'-3"	2	3'-10"	3
	2-2X12	5'-9"	2	5'-0"	3	4'-5"	3
	3-2X8	5'-1"	2	4'-5"	2	3'-11"	2
	3-2X10	6'-6"	2	5'-4"	2	4'-10"	2
	3-2X12	7'-2"	2	6'-3"	2	5'-7"	3
	4-2X8	6'-1"	1	5'-3"	2	4'-8"	2
4-2X10	7'-2"	2	6'-2"	2	5'-6"	2	
4-2X12	8'-4"	2	7'-2"	2	6'-5"	2	

DESIGNER :

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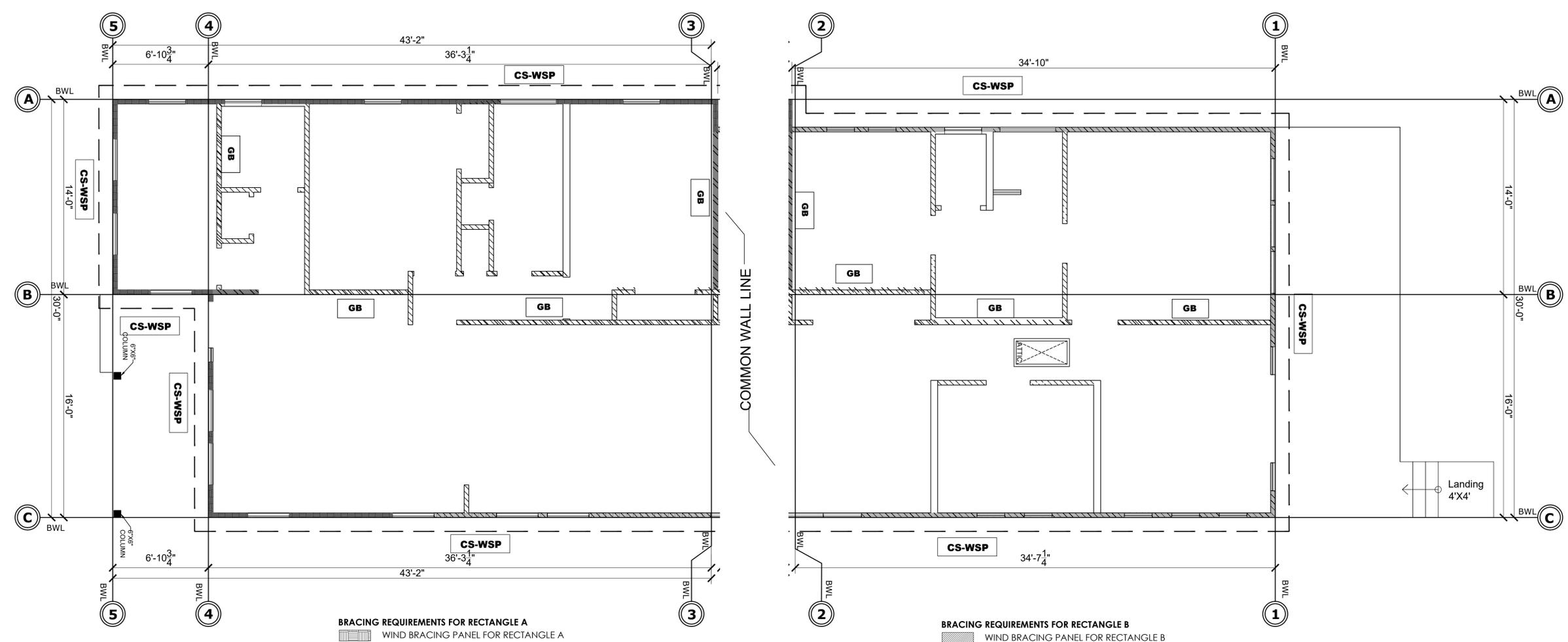
DRAWN BY: **K.F.L.**  
 CHECKED BY: **F.D.L.**  
 DATE: 4/16/21

COMMENTS:

REVISIONS:

SHEET:  
S-3

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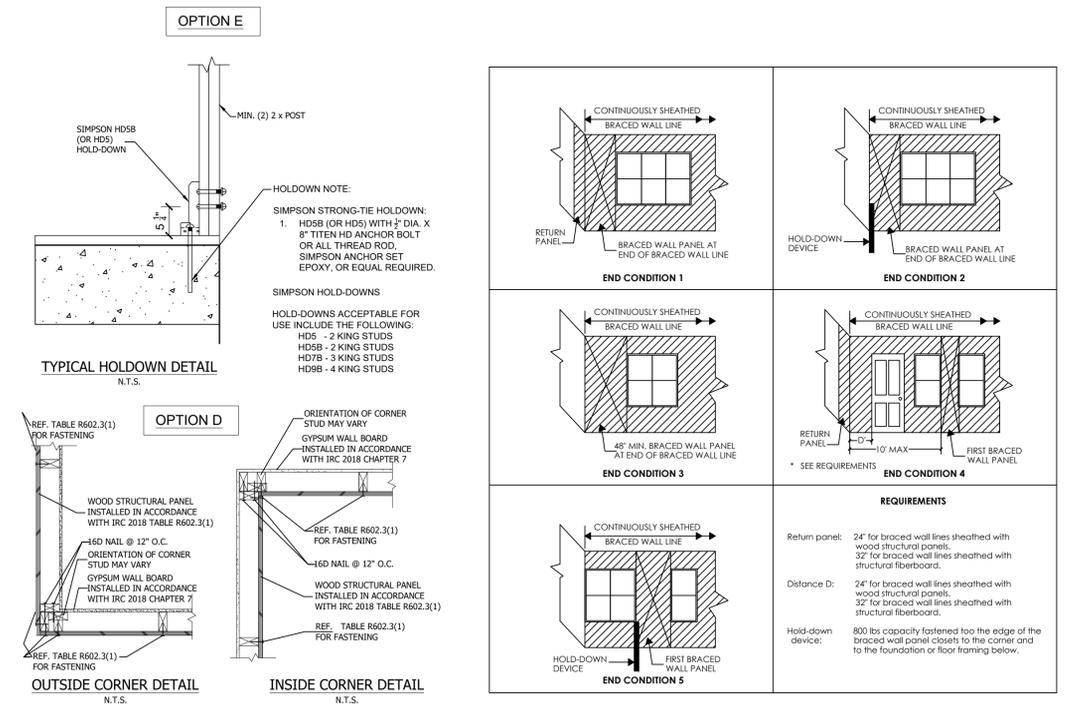
**1 WIND BRACING PLAN**  
 SCALE: 1/4" = 1'-0"  
 NORTH

<b>Building Code</b>	International Residential code 2018 Edition. Section R602.10 Wind Bracing is based on the simpson strongtie 2018 IRC Wall-Bracing-Length Calculator. All calculations are available upon request.
<b>WALL BRACING LEGEND</b>	
<b>CS-WSP</b>	Continuous Sheathing Wood Structural Panel. Solid sheath entire building in 7/16" to 1/2" wood paneling and fasten with 8d common nails at 6" on center at supported edges and 12" on center at the intermediate supports or 16 ga. 1 3/4" staples at 3" on center at supported edges and 6" on center at the intermediate supports. Horizontal block all wood panels. (See Detail For Option "D")
<b>GB</b>	Gypsum board. Minimum thickness: 5/8" Connection criteria: 13 gage, 1-3/8" long, 19/64 head; 0.098" diameter, 1-1/4" long; annular-ringed; 5d cooler nail, 0.086" diameter, 1-5/8" long, 15/64" head; or gypsum board nail, 0.086" diameter, 1-5/8" long, 9/32" head. Spacing: Nails, @ 8" o.c.; Screws, @ 16" o.c.
<b>PFG</b>	Portal Frame at Garage Door Openings (Option "A")
<b>E</b>	Simpson Holddown Anchor (See Plan For Type & Size) (See Detail For Option "E")

- GENERAL WALL BRACING NOTES:**
- STUD SPACING SHALL NOT EXCEED 16" ON CENTERS. BRACING METHODS PER TABLE R602.10.4.
  - NOMINAL 1"x4" CONTINUOUS DIAGONAL BRACE. LET IN FLATWISE INTO TOP AND BOTTOM (SILL) PLATES AND INTERVENING STUDS: TABLE R602.10.7
  - OSB PANELS USED FOR EXTERIOR SHEATHING MAYBE INSTALLED HORIZONTALLY OR VERTICALLY. OSB PANELS USED MUST BE INSTALLED WITH STRENGTH AXIS HORIZONTAL.
  - NAILING FOR PLYWOOD, STRUCTURAL FIBER BOARD AND PARTICLE BOARD SHEATHING SHALL BE IN ACCORDANCE WITH IRC SECTION R602.3 TABLE R602.3(1). NAIL SPACING SHALL NOT EXCEED 6" ON CENTER AT EDGES AND 12" ON CENTER AT INTERMEDIATE SUPPORTS.
  - TEMPORARY BRACING IS THE RESPONSIBILITY OF THE CONTRACTOR. BRACING SYSTEM IS CONSIDERED COMPLETE WHEN ALL SHEATHING AND PANELS HAVE BEEN APPLIED TO THE FRAMING AS INDICATED.
  - PROVIDE BLOCKING FOR THE LOAD TRANSFER PER TABLE R602.3(1) AND FIGURE R602.10.2(2).

**DESIGN CRITERIA 2018 IRC**

<b>WIND SPEED:</b>	<b>115 MPH</b>
<b>EXPOSURE:</b>	<b>"B"</b>
<b>SEISMIC DESIGN CATEGORY:</b>	<b>"A"</b>
<b>TYPE OF ROOF:</b>	<b>COMPOSITION SHINGLES</b>
<b>NO. STORIES</b>	<b>1</b>
<b>BRACING METHOD:</b>	<b>CONTINUOUS SHEATHING &amp; GYP. BOARD</b>

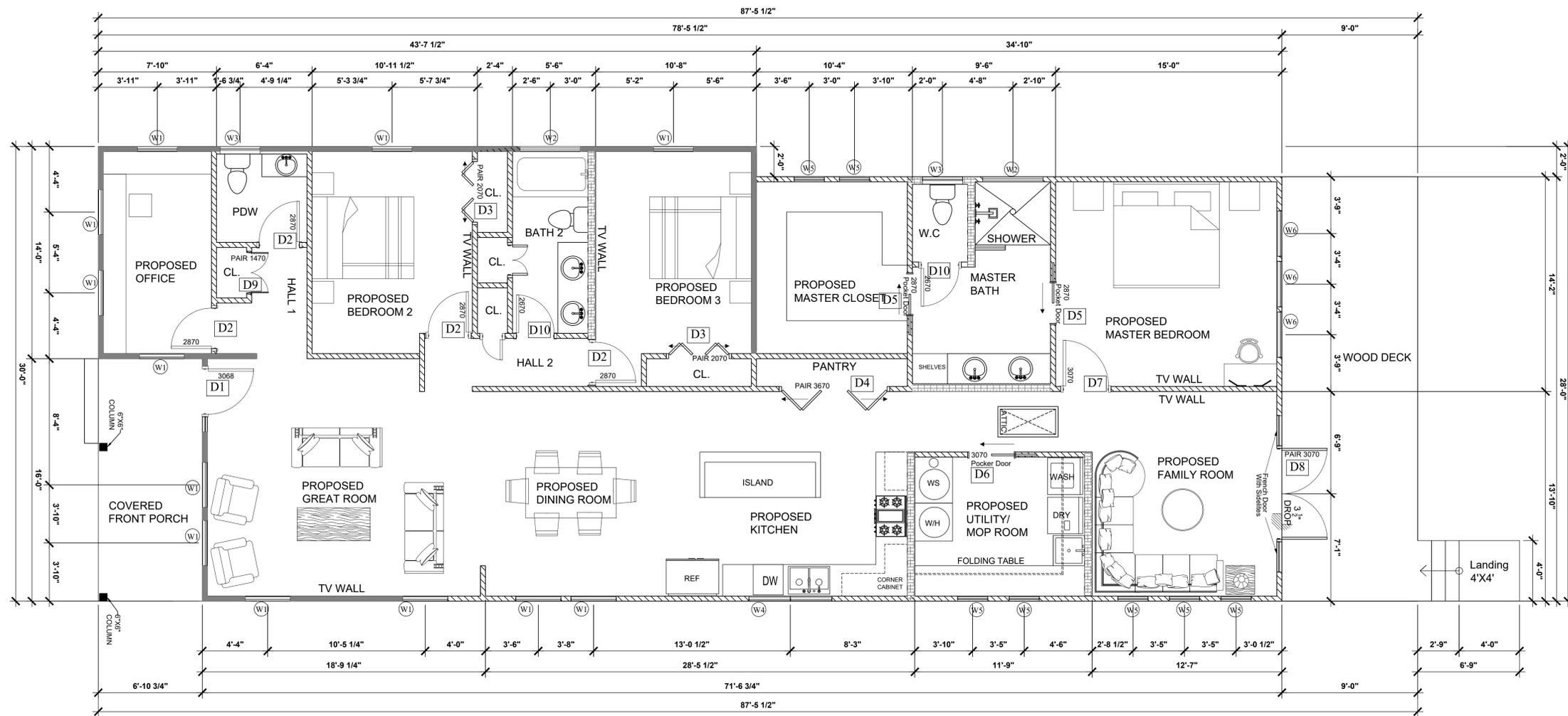


DRAWN BY: **K.F.L.**  
 CHECKED BY: **F.D.L.**  
 DATE: 4/16/21

**COMMENTS:**

**REVISIONS:**

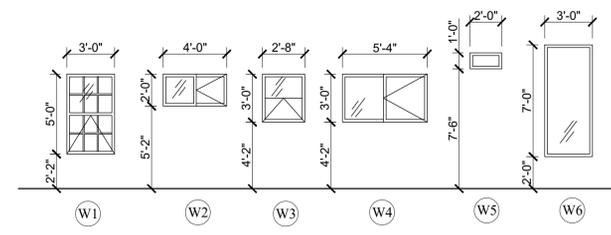
**SHEET:**  
**S-4**



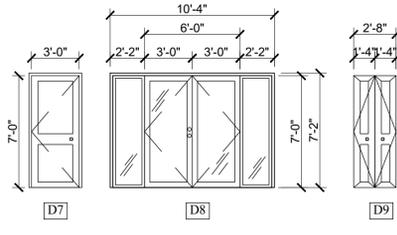
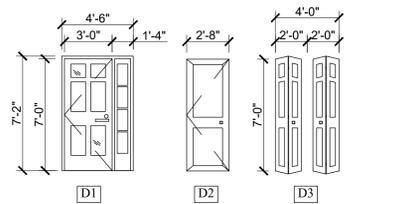
**1 FLOOR PLAN**  
SCALE: 1/4" = 1'-0" NORTH

**LEGEND:**  
 [Solid Line] EXISTING WALL TO REMAIN  
 [Hatched] NEW WALL 2"X4"  
 [Grid Pattern] NEW WALL 2"X6"

WINDOW SCHEDULE			
Designation	Window Size	Qty.	Description
(W1)	3'-0" x 5'-0"	12	Wood Single Hung Window With Insulated Glass
(W2)	4'-0" x 2'-0"	2	Wood Sliding Window With Insulated Glass
(W3)	2'-8" x 3'-0"	2	Wood Single Hung Window With Insulated Glass
(W4)	5'-4" x 3'-0"	1	Wood Sliding Window With Insulated Glass
(W5)	2'-0" x 1'-0"	7	Wood Single Window With Insulated Glass
(W6)	3'-0" x 7'-0"	3	Wood Single Window With Insulated Glass

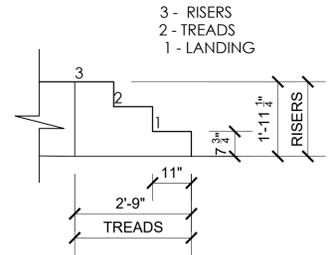


**2 WINDOW ELEVATIONS**  
SCALE: 3/16" = 1'-0"



**3 DOOR ELEVATIONS**  
SCALE: 3/16" = 1'-0"

DOOR SCHEDULE				
NO.	Door Size	Qty.	Description	Remarks
[D1]	3'-0" x 7'-0"	1	Exterior Decor - Wood Single Door With One Sidelite	Keyed Lock & Dead Bolt
[D2]	2'-8" x 7'-0"	4	Interior Hollow Core Door (H.C.)	Keyed Lock
[D3]	2'-0" x 7'-0"	4	Interior Bifold - Double Door	
[D4]	7'-0" x 7'-0"	1	Interior Bifold - Double Door	
[D5]	2'-8" x 7'-0"	2	Interior Pocket Door	Keyed Lock
[D6]	3'-0" x 7'-0"	1	Interior Pocket Door	Keyed Lock
[D7]	3'-0" x 7'-0"	1	Interior Hollow Core Door (H.C.)	Keyed Lock
[D8]	3'-0" x 7'-0"	2	Wood Double Door - French Patio Door With Sidelites On Each Side	Keyed Lock & Dead Bolt
[D9]	1'-4" x 7'-0"	2	Double Door - Closet Door	
[D10]	2'-6" x 7'-0"	2	Interior Hollow Core Door (H.C.)	Keyed Lock



**4 RISERS & TREADS DETAIL**  
SCALE: N.T.S.

NOTE: DIMENSIONS MUST BE VERIFIED ON JOBSITE

DESIGNER:  
  
 Zoning, Design, Permitting, Inspections, Certificate of Occupancy  
**ONE STOP CODE CONSULTING, LLC**  
 1650 W. HUISACHE AVE. SAN ANTONIO, TEXAS, 78201  
 Phone: (210) 778-8219 [info@onestopcode.com](mailto:info@onestopcode.com)

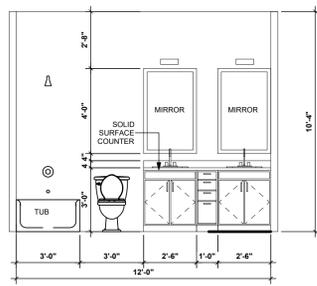
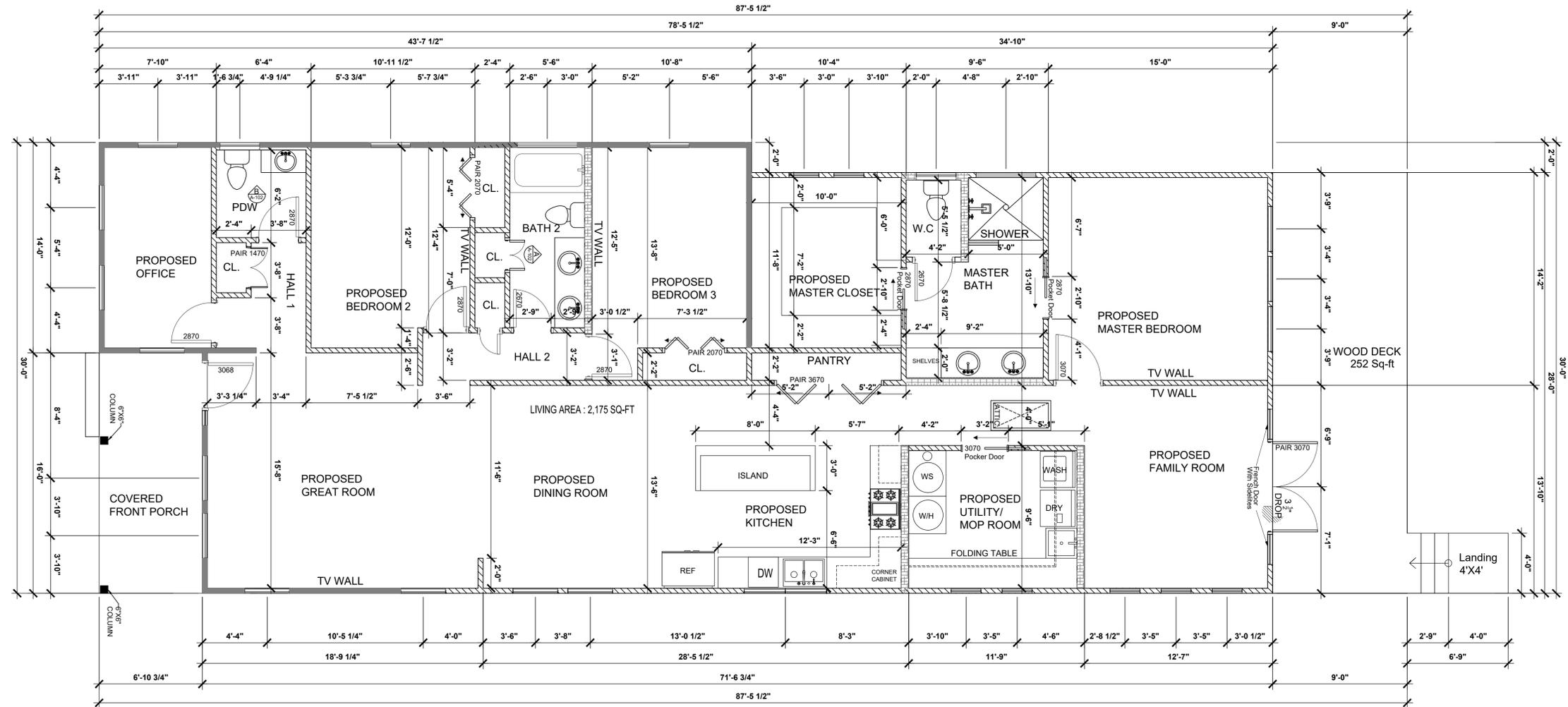
**BURLESON RESIDENCE**  
 809 BURLESON  
 SAN ANTONIO, TX 78202

DRAWN BY: **K.F.L.**  
 CHECKED BY: **F.D.L.**  
 DATE: 4/16/21

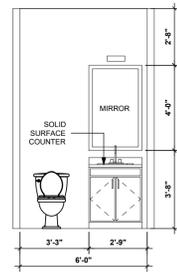
COMMENTS:

REVISIONS:

SHEET:  
**A-101**



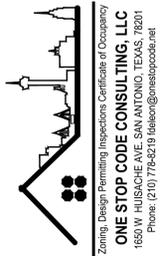
**A** BATH 2 ELEVATION  
SCALE: 1/4" = 1'-0"



**B** PDW ELEVATION  
SCALE: 1/4" = 1'-0"

**1** DIMENSION PLAN  
SCALE: 1/4" = 1'-0" NORTH

DESIGNER :



**BURLESON RESIDENCE**  
809 BURLESON  
SAN ANTONIO, TX 78202

DRAWN BY: **K.F.L.**

CHECKED BY: **F.D.L.**

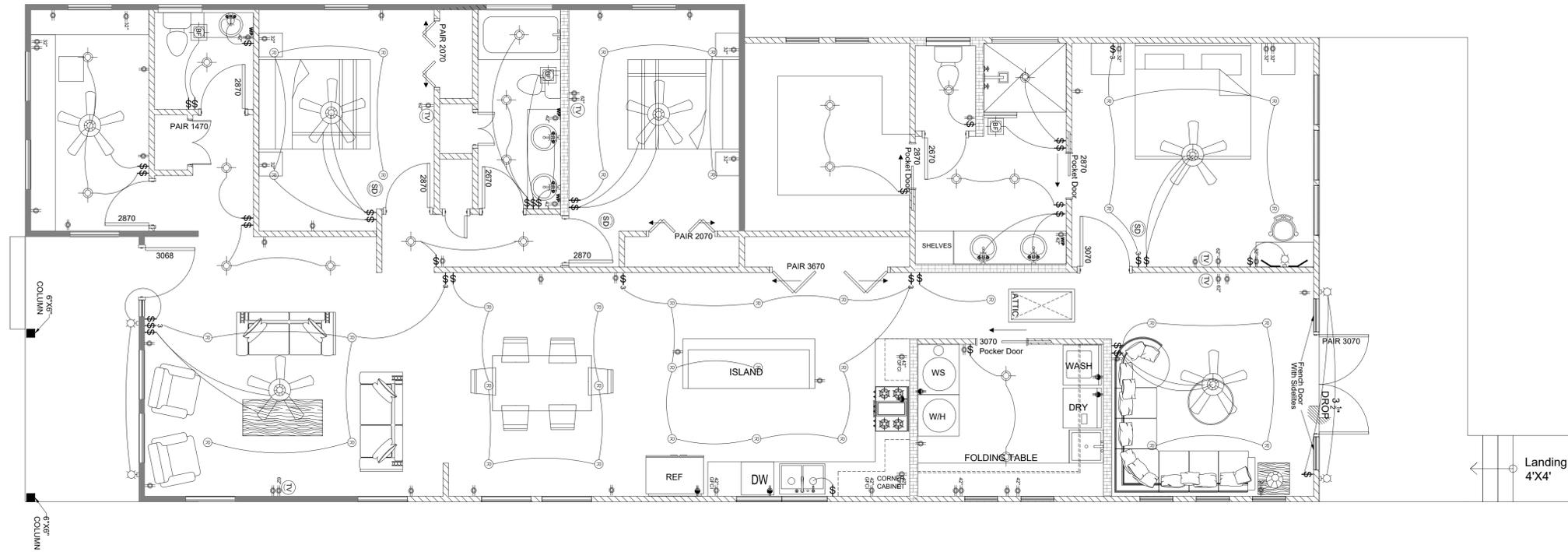
DATE: 4/16/21

COMMENTS:

REVISIONS:

SHEET:

A-102



ELECTRICAL LEGEND	
Symbol	Descriptions
	110V Wall duplex outlet
	110V Wall duplex outlet (Waterproof)
	220V Wall outlet
	Ceiling mounted outlet
	Duplex outlet w/Ground fault circuit interrupter
	Surface mounted incandescent fixture
	Recessed 6" dia. incandescent
	Ceiling Lighting Fixture
	Wall Mount Light
	Single pole light switch
	3-Way light switch
	Circuit

ELECTRICAL LEGEND	
Symbol	Descriptions
	Ceiling fan with light fixture
	Ceiling bath fan
	Smoke detector
	TV
	PUSH BUTTON DOORBELL

NOTES:  
 -ANY ELECT., INTERCOM, SURVEILLANCE, SOUND SYSTEM, COLORS & MATERIALS TO BE DISCUSSED BEFORE CONSTRUCTION BEGINS.  
 -VERIFY LIGHTING LOCATIONS AT JOBSITE.  
 -COORDINATE LOCATION OF A/C PAD(S) AT JOBSITE AND PROVIDE 220V ELECTRICAL CONNECTION.

**1** ELECTRICAL PLAN  
 SCALE: 1/4" = 1'-0"

DESIGNER :

Zoning, Design, Permitting, Inspections, Certificate of Occupancy  
**ONE STOP CODE CONSULTING, LLC**  
 1650 W. HUISACHE AVE. SAN ANTONIO, TEXAS, 78201  
 Phone: (210) 778-8219 [info@onestopcode.com](mailto:info@onestopcode.com)

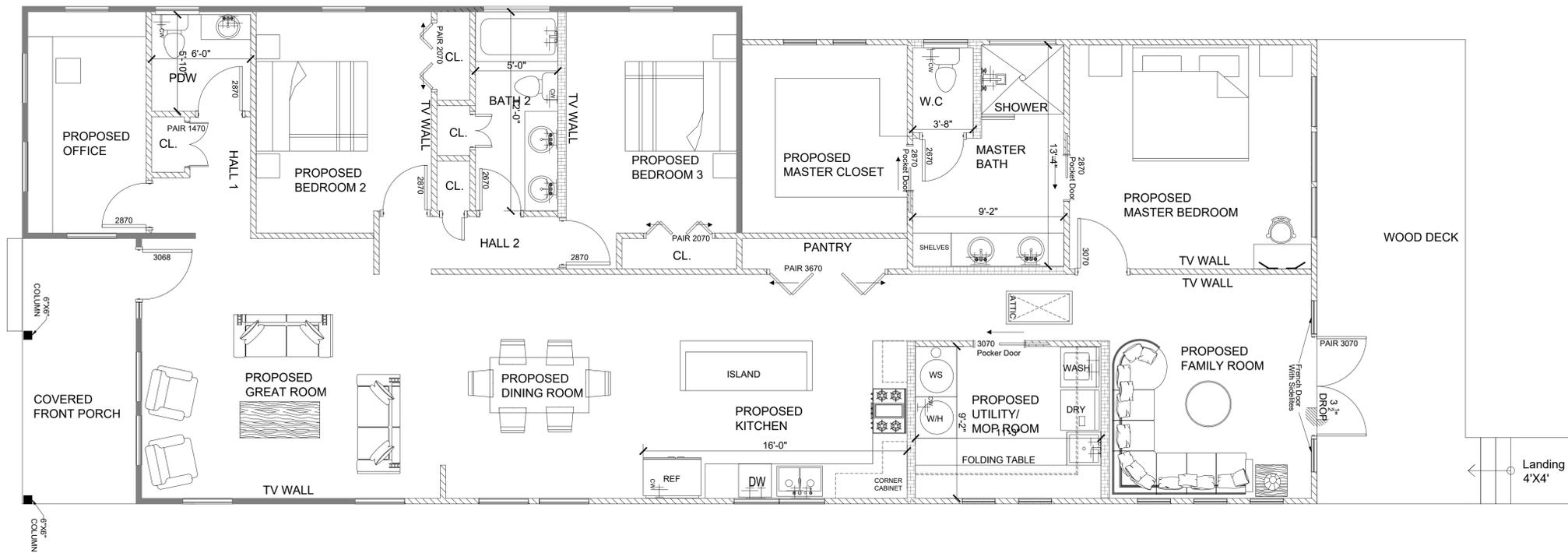
**BURLESON RESIDENCE**  
 809 BURLESON  
 SAN ANTONIO, TX 78202

DRAWN BY: **K.F.L.**  
 CHECKED BY: **F.D.L.**  
 DATE: 4/16/21

COMMENTS:

REVISIONS:

SHEET:  
**A-103**



PLUMBING LEGEND			
	WATER HEATER		COLD WATER
	WATER SOFTENER		HOT & COLD WATER
	SHOWER HEAD		FLOOR DRAIN
			GAS LINE
			HOSE BIB/FAUCET

- NOTES**
1. PLUMBING ROUGH IN DIMENSIONS SHOWN ON PLAN ARE APPROXIMATE. GENERAL CONTRACTOR TO VERIFY AND CONFIRM BEFORE POURING SLAB

**2 PLUMBING PLAN**  
 SCALE: 1/4" = 1'-0" NORTH

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 Phone: (210) 778-8219 [info@onestopcode.com](mailto:info@onestopcode.com)

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**809 BURLESON**  
**SAN ANTONIO, TX 78202**

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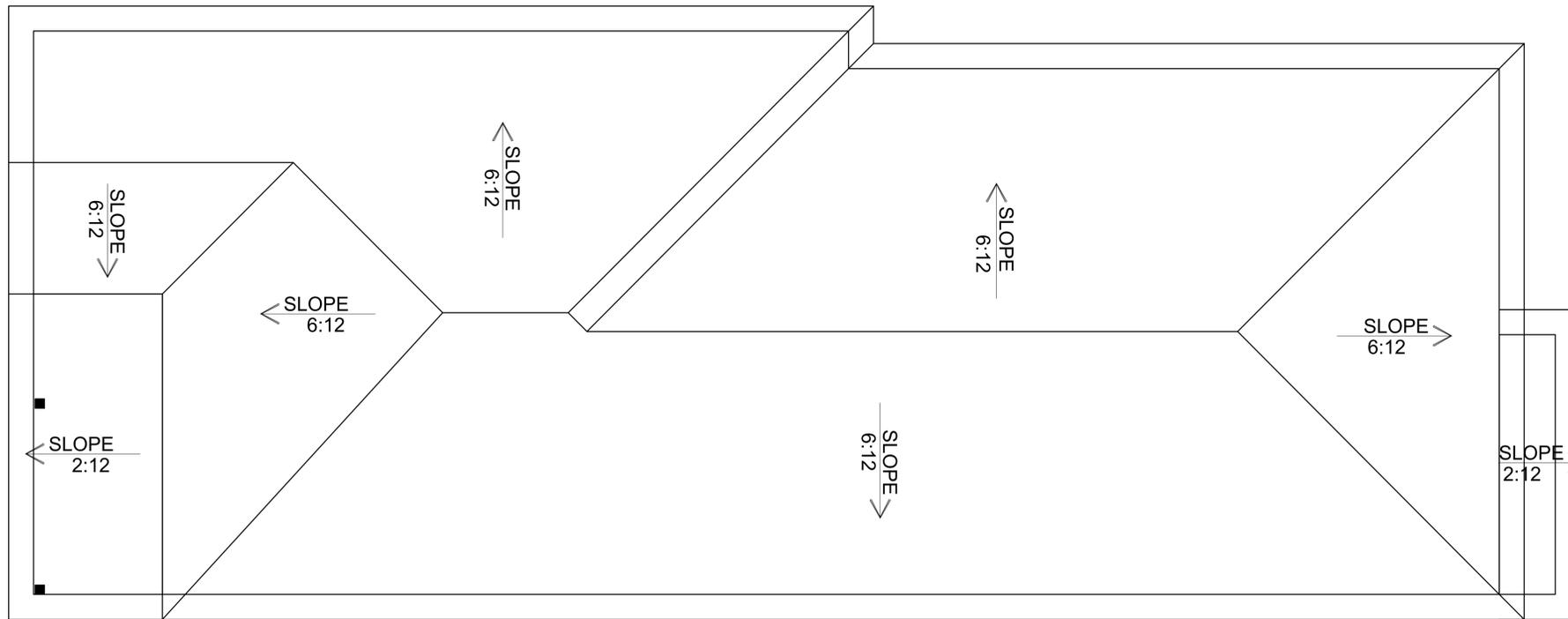
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DATE: 4/16/21

**COMMENTS:**

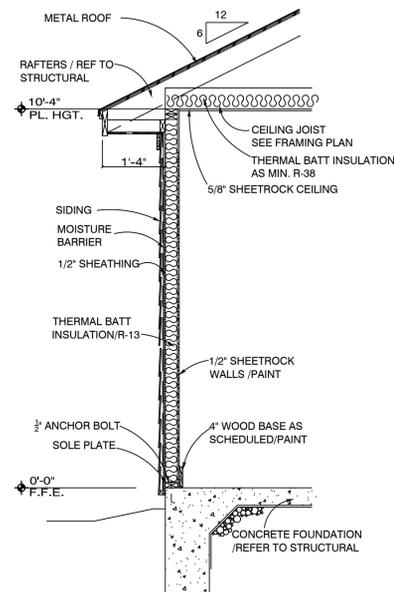
**REVISIONS:**

**SHEET:**  
**A-104**

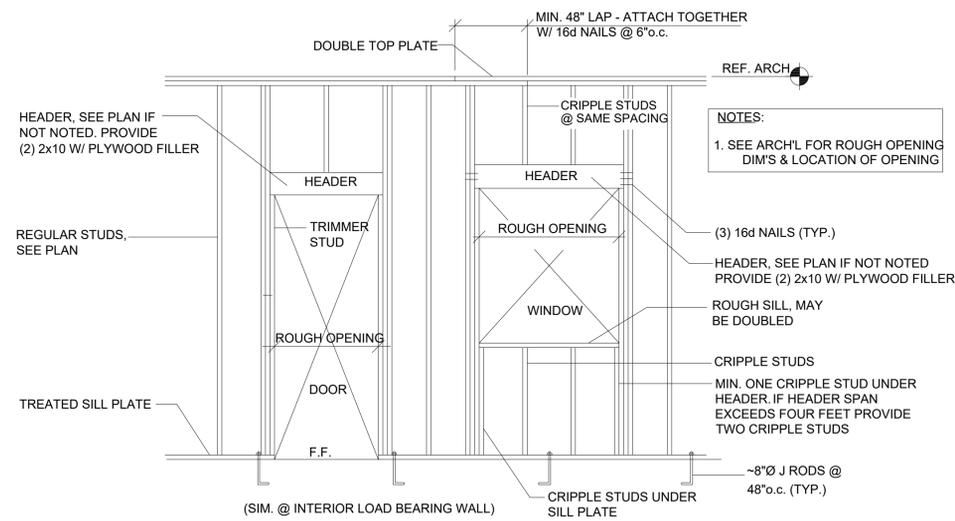


**1 ROOF PLAN**  
SCALE: 1/4" = 1'-0" NORTH

ID	MEMBER	SIZE	SPECIE
1	SHEATHING	5/8" x 4' x 8'	OSB RADIANT BARRIER
2	FELT	No.30	ASPHALT
3	ASPHALT SHINGLES	17 - 1/4" x 13"	25 YEARS

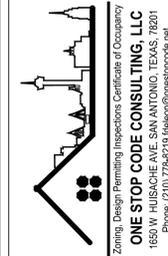


**2 TYPICAL WALL SECTION**  
SCALE: N.T.S.



**3 TYP. FRAME OPENING DETAIL**  
SCALE: N.T.S.

DESIGNER :



Zoning, Design, Permitting, Inspections, Certificate of Occupancy  
**ONE STOP CODE CONSULTING, LLC**  
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Phone: (210) 778-8219 [info@onestopcode.com](mailto:info@onestopcode.com)

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809 BURLESON  
SAN ANTONIO, TX 78202

DRAWN BY: **K.F.L.**

CHECKED BY: **F.D.L.**

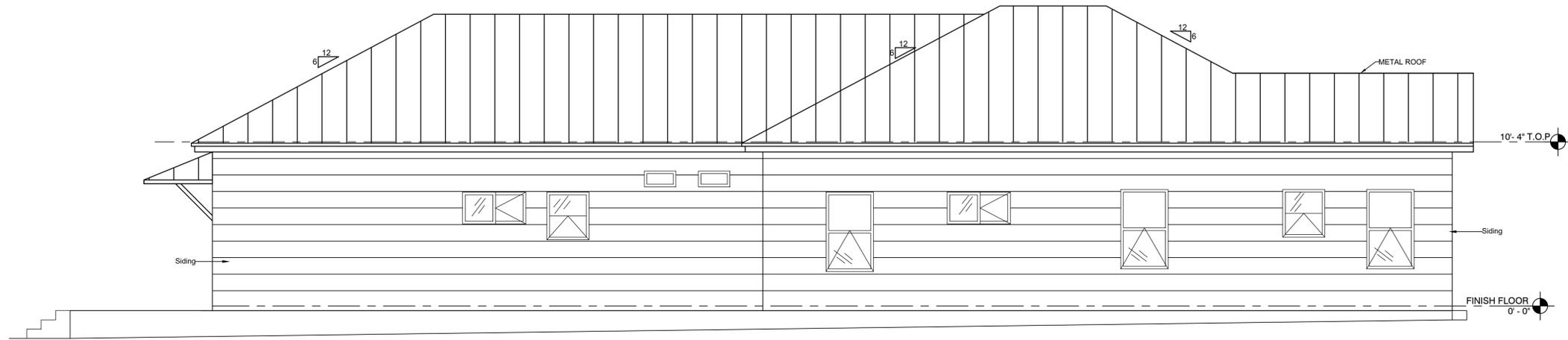
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COMMENTS:

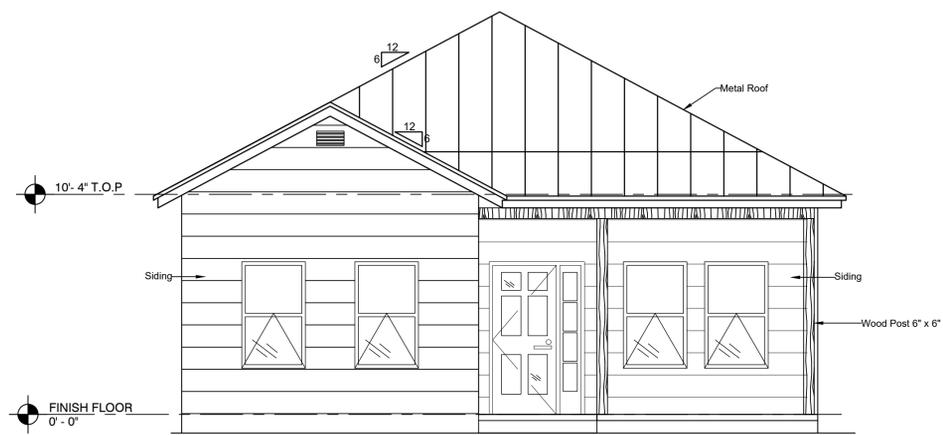
REVISIONS:

SHEET:

A-105



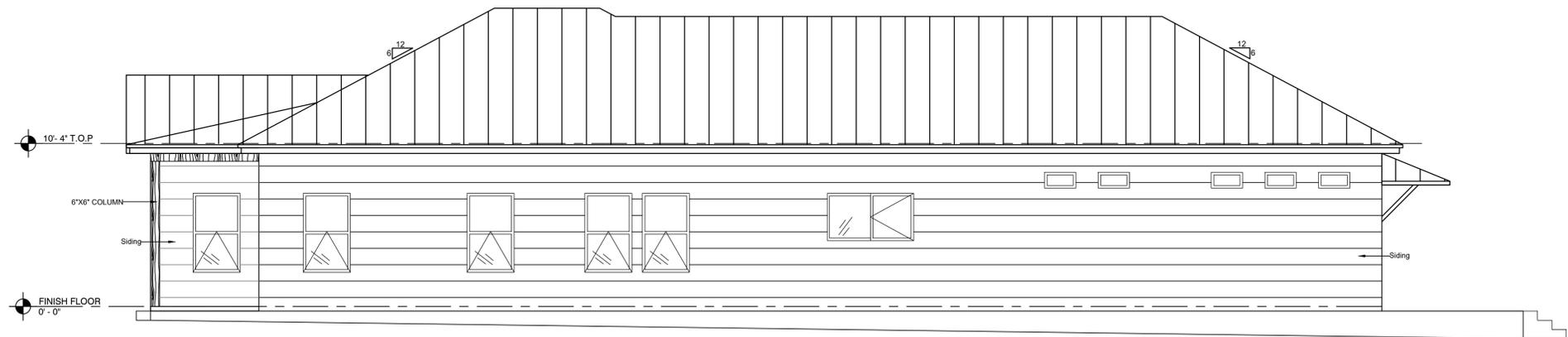
1 LEFT ELEVATION  
SCALE: 1/4" = 1'-0"



2 FRONT ELEVATION  
SCALE: 1/4" = 1'-0"

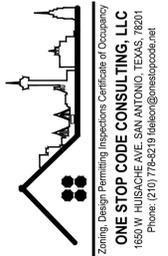


3 BACK ELEVATION  
SCALE: 1/4" = 1'-0"



4 RIGHT ELEVATION  
SCALE: 1/4" = 1'-0"

DESIGNER :



Zoning, Design, Permitting, Inspections, Certificate of Occupancy  
**ONE STOP CODE CONSULTING, LLC**  
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Phone: (210) 778-8219 [info@onestopcode.com](mailto:info@onestopcode.com)

**BURLESON RESIDENCE**  
809 BURLESON  
SAN ANTONIO, TX 78202

DRAWN BY: **K.F.L.**

CHECKED BY: **F.D.L.**

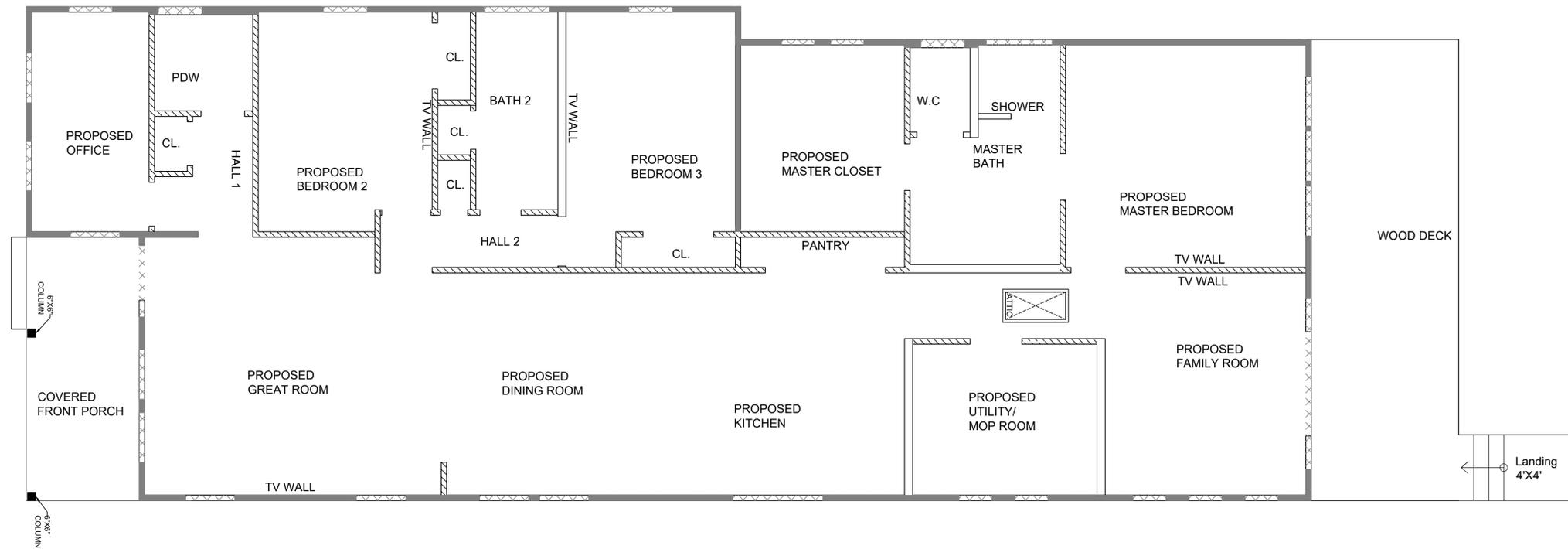
DATE: 4/16/21

COMMENTS:

REVISIONS:

SHEET:

A-106



 THERMAL ENVELOPE  
 AIR BARRIER

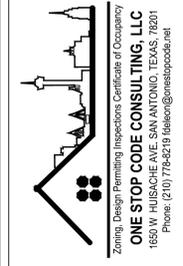
1

**THERMAL ENVELOPE & AIR BARRIER PLAN**

SCALE: 1/4" = 1'-0"



DESIGNER :



Zoning, Design, Permitting, Inspections, Certificate of Occupancy  
**ONE STOP CODE CONSULTING, LLC**  
 1650 W. HUISACHE AVE. SAN ANTONIO, TEXAS, 78201  
 Phone: (210) 778-8219 [info@onestopcode.com](mailto:info@onestopcode.com)

**BURLESON RESIDENCE**  
**809 BURLESON**  
**SAN ANTONIO, TX 78202**

DRAWN BY: K.F.L.

CHECKED BY: F.D.L.

DATE: 4/16/21

COMMENTS:

REVISIONS:

SHEET:

A-107

## DOOR



- Exterior Wood Window Panel Door with Sidelight.
- Clear Glass
- Round Door Knob

## WINDOWS



- All Wood Single Hung Window



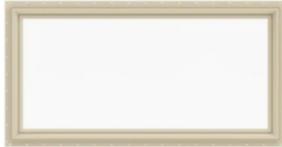
- All Wood Sliding Window



- All Wood Single Hung Window



- All Wood Sliding Window



- All Wood Hy-lite Window

## EXTERIOR COLORS

- ACCENT  
Sherwin Williams  
Porpoise  
SW 7047

SW 7047  
**Porpoise**  
Interior / Exterior  
Location Number: 245-C6

- TRIM  
Sherwin Williams  
Modern Gray  
SW 7632

SW 7632  
**Modern Gray**  
Interior / Exterior  
Location Number: 283-C1

- BODY  
Sherwin Williams  
Portabello  
SW 6102

SW 6102  
**Portabello**  
Interior / Exterior  
Location Number: 201-C5

[Back to Quote](#)

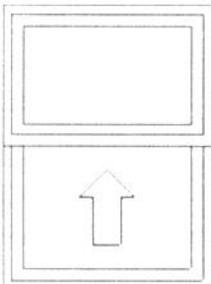


Date: 10/11/2021

LOWE'S HOME CENTERS, LLC #1579  
 1200 NORTH F.M. 1604 WEST  
 SAN ANTONIO, TX 78248-4502  
 USA  
 (210) 764-8082



Project #: 703241274 Description: Windows  
 Customer Name: YAUDAT KURI  
 Customer Phone: (210) 844-0710  
 Customer Address: STORE SALES  
 SAN ANTONIO,  
 TX 78248  
 USA

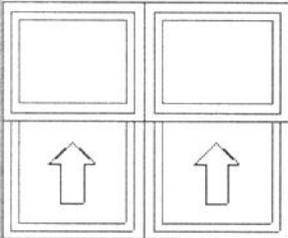
Line Item	Product Code	Unit Price	Quantity	Total Price
Frame Size	Description			
0013	<b>Manufacturer:</b> JELD-WEN Vinyl Windows & Patio Doors - West			
Actual Frame Size: 43 1/2-in W x 59 1/2-in H Size: 44-in W x 60-in H	 <p>Division: Millwork                      Product: Windows                      Type: Single Hungs                      Product Configuration Option: Custom Configurations (All options available)                      Product Type: Single Hung Window                      Product Configuration: 1 Wide                      Configuration Option: Custom Configuration                      Product Line: V-2500 Vinyl                      Product Model: Tilt                      Style: Rectangle                      Regional Compliance: US National-AAMA                      Rating: PG20, DP+20/-20                      Frame Type: Nail Fin (1 1/4-in setback)                      Frame Color - Exterior: White                      Frame Color - Interior: White                      Fits Rough Opening Width: 44-in                      Fits Rough Opening Height: 60-in                      Actual Frame Width: 43 1/2-in                      Actual Frame Height: 59 1/2-in                      Vent Height: 30-in                      STC OITC Rating: Standard                      Glazing: Insulated                      Low-E: Low-E</p>	\$274.37	3	\$823.11

Glass Color/Texture: Clear  
 Glass Type: Standard  
 IG Upgrades: Argon  
 Elevation: 0 - 3500 feet  
 Glass Thickness: Standard Default Thickness  
 Screen Options: Standard Screen Frame  
 Screen Mesh Type: Fiberglass Mesh  
 Lock Type: Cam Lock(s)  
 Number of Locks: 2 Locks  
 Hardware Finish - Interior: White  
 Lead Time: 49 Days  
 Item Number: 86560  
 \*\*Windows drawn as seen from the exterior.\*\*  
 \*\*\* 15% off All Windows & Patio Doors 10/7/21 - 10/27/21 \*\*\*

0014

**Manufacturer:** JELD-WEN Vinyl Windows & Patio Doors - West

Actual Frame Size: 71 1/2-in W x 59 1/2-in H  
 Size: 72-in W x 60-in H



Division: Millwork  
 Product: Windows  
 Type: Single Hungs  
 Product Configuration Option: Custom Configurations (All options available)  
 Product Type: Single Hung Window  
 Product Configuration: 2 Wide  
 Configuration Option: Standard Configuration  
 Product Line: V-2500 Vinyl  
 Product Model: Tilt  
 Style: Rectangle  
 Regional Compliance: US National-AAMA  
 Rating: PG20, DP+20/-20  
 Frame Type: Nail Fin (1 1/4-in setback)  
 Frame Color - Exterior: White  
 Frame Color - Interior: White  
 Fits Rough Opening Width: 72-in  
 Fits Rough Opening Height: 60-in  
 Actual Frame Width: 71 1/2-in  
 Actual Frame Height: 59 1/2-in  
 Mull Division: Evenly Divided  
 RO Left Unit Width: 36-in  
 Vent Height: 30-in  
 STC OITC Rating: Standard  
 Glazing: Insulated  
 Low-E: Low-E  
 Glass Color/Texture: Clear  
 Glass Type: Standard  
 IG Upgrades: Argon  
 Elevation: 0 - 3500 feet  
 Lock Type: Cam Lock(s)  
 Hardware Finish - Interior: White  
 A1 Product Type: Single Hung Window

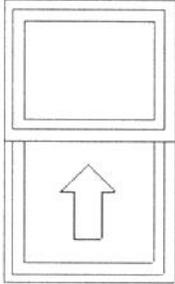
\$512.55

1

\$512.55

A1 Regional Compliance: US National-AAMA  
 A1 Rating: PG20, DP+20/-20  
 A1 Select Glass Thickness: Standard Default Thickness  
 A1 Number of Locks: 2 Locks  
 A1 Drywall Unit: Not a Drywall Unit  
 Lead Time: 49 Days  
 Item Number: 86560  
 \*\*Windows drawn as seen from the exterior.\*\*  
 \*\*\* 15% off All Windows & Patio Doors 10/7/21 - 10/27/21 \*\*\*

0015  
 Actual Frame Size: 35 1/2-  
 in W x 59 1/2-in H  
 Size: 36-in W x 60-in H



**Manufacturer:** JELD-WEN Vinyl Windows & Patio  
 Doors - West

Division: Millwork  
 Product: Windows  
 Type: Single Hungs  
 Product Configuration Option: Custom Configurations  
 (All options available)  
 Product Type: Single Hung Window  
 Product Configuration: 1 Wide  
 Configuration Option: Custom Configuration  
 Product Line: V-2500 Vinyl  
 Product Model: Tilt  
 Style: Rectangle  
 Regional Compliance: US National-AAMA  
 Rating: PG20, DP+20/-20  
 Frame Type: Nail Fin (1 1/4-in setback)  
 Frame Color - Exterior: White  
 Frame Color - Interior: White  
 Fits Rough Opening Width: 36-in  
 Fits Rough Opening Height: 60-in  
 Actual Frame Width: 35 1/2-in  
 Actual Frame Height: 59 1/2-in  
 Vent Height: 30-in  
 STC OITC Rating: Standard  
 Glazing: Insulated  
 Low-E: Low-E  
 Glass Color/Texture: Clear  
 Glass Type: Standard  
 IG Upgrades: Argon  
 Elevation: 0 - 3500 feet  
 Glass Thickness: Standard Default Thickness  
 Screen Options: Standard Screen Frame  
 Screen Mesh Type: Fiberglass Mesh  
 Lock Type: Cam Lock(s)  
 Number of Locks: 2 Locks  
 Hardware Finish - Interior: White  
 Lead Time: 49 Days  
 Item Number: 86560  
 \*\*Windows drawn as seen from the exterior.\*\*  
 \*\*\* 15% off All Windows & Patio Doors 10/7/21 -

\$232.78

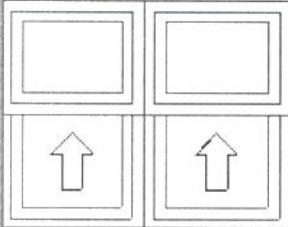
3

\$698.34

10/27/21 \*\*\*

0016

Actual Frame Size: 59 1/2-in W x 47 1/2-in H  
Size: 60-in W x 48-in H



**Manufacturer:** JELD-WEN Vinyl Windows & Patio

Doors - West

Division: Millwork  
Product: Windows  
Type: Single Hungs  
Product Configuration Option: Custom Configurations (All options available)  
Product Type: Single Hung Window  
Product Configuration: 2 Wide  
Configuration Option: Standard Configuration  
Product Line: V-2500 Vinyl  
Product Model: Tilt  
Style: Rectangle  
Regional Compliance: US National-AAMA  
Rating: PG20, DP+20/-20  
Frame Type: Nail Fin (1 1/4-in setback)  
Frame Color - Exterior: White  
Frame Color - Interior: White  
Fits Rough Opening Width: 60-in  
Fits Rough Opening Height: 48-in  
Actual Frame Width: 59 1/2-in  
Actual Frame Height: 47 1/2-in  
Mull Division: Evenly Divided  
RO Left Unit Width: 30-in  
Vent Height: 24-in  
STC OITC Rating: Standard  
Glazing: Insulated  
Low-E: Low-E  
Glass Color/Texture: Clear  
Glass Type: Standard  
IG Upgrades: Argon  
Elevation: 0 - 3500 feet  
Lock Type: Cam Lock(s)  
Hardware Finish - Interior: White  
A1 Product Type: Single Hung Window  
A1 Regional Compliance: US National-AAMA  
A1 Rating: PG20, DP+20/-20  
A1 Select Glass Thickness: Standard Default Thickness  
A1 Number of Locks: 2 Locks  
A1 Drywall Unit: Not a Drywall Unit  
Lead Time: 49 Days  
Item Number: 86560

\*\*Windows drawn as seen from the exterior.\*\*

\*\*\* 15% off All Windows & Patio Doors 10/7/21 - 10/27/21 \*\*\*

\$423.69 2 \$847.38

0017

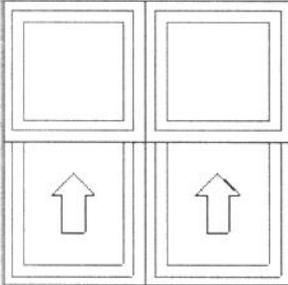
**Manufacturer:** JELD-WEN Vinyl Windows & Patio

Doors - West

Division: Millwork

\$467.05 1 \$467.05

Actual Frame Size: 59 1/2-in W x 59 1/2-in H  
 Size: 60-in W x 60-in H



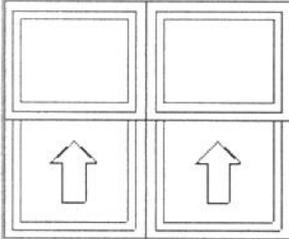
Product: Windows  
 Type: Single Hungs  
 Product Configuration Option: Custom Configurations  
 (All options available)  
 Product Type: Single Hung Window  
 Product Configuration: 2 Wide  
 Configuration Option: Custom Configuration  
 Product Line: V-2500 Vinyl  
 Product Model: Tilt  
 Style: Rectangle  
 Regional Compliance: US National-AAMA  
 Rating: PG20, DP+20/-20  
 Frame Type: Nail Fin (1 1/4-in setback)  
 Frame Color - Exterior: White  
 Frame Color - Interior: White  
 Fits Rough Opening Width: 60-in  
 Fits Rough Opening Height: 60-in  
 Actual Frame Width: 59 1/2-in  
 Actual Frame Height: 59 1/2-in  
 Mull Division: Evenly Divided  
 RO Left Unit Width: 30-in  
 Vent Height: 30-in  
 STC OITC Rating: Standard  
 Glazing: Insulated  
 Low-E: Low-E  
 Glass Color/Texture: Clear  
 Glass Type: Standard  
 IG Upgrades: Argon  
 Elevation: 0 - 3500 feet  
 Screen Options: Standard Screen Frame  
 Screen Mesh Type: Fiberglass Mesh  
 Lock Type: Cam Lock(s)  
 Hardware Finish - Interior: White  
 A1 Product Type: Single Hung Window  
 A1 Regional Compliance: US National-AAMA  
 A1 Rating: PG20, DP+20/-20  
 A1 Select Glass Thickness: Standard Default Thickness  
 A1 Number of Locks: 2 Locks  
 A1 Drywall Unit: Not a Drywall Unit  
 Lead Time: 49 Days  
 Item Number: 86560  
 \*\*Windows drawn as seen from the exterior.\*\*  
 \*\*\* 15% off All Windows & Patio Doors 10/7/21 - 10/27/21 \*\*\*

0018  
 Actual Frame Size: 71 1/2-in W x 59 1/2-in H  
 Size: 72-in W x 60-in H

**Manufacturer:** JELD-WEN Vinyl Windows & Patio Doors - West

Division: Millwork  
 Product: Windows  
 Type: Single Hungs  
 Product Configuration Option: Custom Configurations

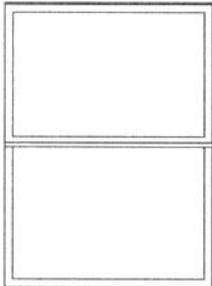
\$512.55 1 \$512.55



(All options available)  
 Product Type: Single Hung Window  
 Product Configuration: 2 Wide  
 Configuration Option: Standard Configuration  
 Product Line: V-2500 Vinyl  
 Product Model: Tilt  
 Style: Rectangle  
 Regional Compliance: US National-AAMA  
 Rating: PG20, DP+20/-20  
 Frame Type: Nail Fin (1 1/4-in setback)  
 Frame Color - Exterior: White  
 Frame Color - Interior: White  
 Fits Rough Opening Width: 72-in  
 Fits Rough Opening Height: 60-in  
 Actual Frame Width: 71 1/2-in  
 Actual Frame Height: 59 1/2-in  
 Mull Division: Evenly Divided  
 RO Left Unit Width: 36-in  
 Vent Height: 30-in  
 STC OITC Rating: Standard  
 Glazing: Insulated  
 Low-E: Low-E  
 Glass Color/Texture: Clear  
 Glass Type: Standard  
 IG Upgrades: Argon  
 Elevation: 0 - 3500 feet  
 Lock Type: Cam Lock(s)  
 Hardware Finish - Interior: White  
 A1 Product Type: Single Hung Window  
 A1 Regional Compliance: US National-AAMA  
 A1 Rating: PG20, DP+20/-20  
 A1 Select Glass Thickness: Standard Default Thickness  
 A1 Number of Locks: 2 Locks  
 A1 Drywall Unit: Not a Drywall Unit  
 Lead Time: 49 Days  
 Item Number: 86560  
 \*\*Windows drawn as seen from the exterior.\*\*  
 \*\*\* 15% off All Windows & Patio Doors 10/7/21 - 10/27/21 \*\*\*

0001

Size = 44-in W x 60-in H



**Manufacturer:** Reliablit by Atrium

- DP50: Size Tested 36-in x 96-in  
 \*\*\*DP Code and Florida Approval Code only valid up to window size tested\*\*\*  
 Division: Millwork  
 Product: Windows  
 Type: Single Hungs  
 Manufacturer: Reliablit by Atrium  
 Will this product be installed by Lowe's: Not Installed By Lowe's  
 Product Type: Single Hungs

\$291.24

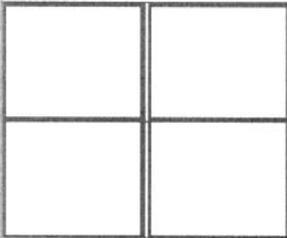
3

\$873.72

Product Line: Replacement  
 Series: 3050 Economy  
 Unit Configuration: Single Unit  
 Sash Configuration: Equal  
 Actual Width: 44-in  
 Actual Height: 60-in  
 Fits Opening Width: 44 1/4-in  
 Fits Opening Height: 60 1/4-in  
 Color: White  
 \*\*\*See in-store displays for exact color samples for both interior and exterior color.\*\*\*  
 Glass Energy Efficiency: Ultra Low-E w/ Argon  
 Glass Color: Clear  
 \*\*\*The graphics present an estimation of the color and are not a completely accurate representation.\*\*\*  
 Glass Strength/Safety: Double Strength  
 Grid Type: No Grids  
 Grid Style: No Grids  
 Hardware Color: Color Matched  
 Screen: Half Screen  
 Screen Shipping Option: Installed in Window  
 Breather Tubes: No  
 Extended Coverage: None  
 Lead Time: 15 Days  
 Item Number: 362170

0002

Size = 72-in W x 60-in H



**Manufacturer:** Reliablit by Atrium

- DP50: Size Tested 36-in x 96-in  
 \*\*\*DP Code and Florida Approval Code only valid up to window size tested\*\*\*  
 Division: Millwork  
 Product: Windows  
 Type: Single Hungs  
 Manufacturer: Reliablit by Atrium  
 Will this product be installed by Lowe's: Not Installed By Lowe's  
 Product Type: Single Hungs  
 Product Line: Replacement  
 Series: 3050 Economy  
 Unit Configuration: Twin Units  
 Composite Direction: XX  
 Sash Configuration: Equal  
 Actual Width: 72-in  
 Actual Height: 60-in  
 Fits Opening Width: 72 1/4-in  
 Fits Opening Height: 60 1/4-in  
 Color: White  
 \*\*\*See in-store displays for exact color samples for both interior and exterior color.\*\*\*  
 Glass Energy Efficiency: Ultra Low-E w/ Argon  
 Glass Color: Clear

\$584.11

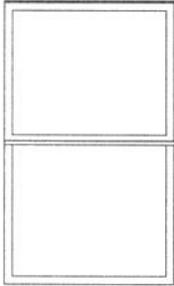
|

\$584.11

\*\*\*The graphics present an estimation of the color and are not a completely accurate representation.\*\*\*  
 Glass Strength/Safety: Double Strength  
 Grid Type: No Grids  
 Grid Style: No Grids  
 Hardware Color: Color Matched  
 Screen: Half Screen  
 Screen Shipping Option: Installed in Window  
 Breather Tubes: No  
 Extended Coverage: None  
 Lead Time: 15 Days  
 Item Number: 362170

0009

Size = 36-in W x 60-in H



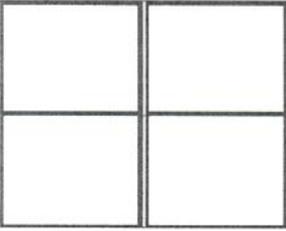
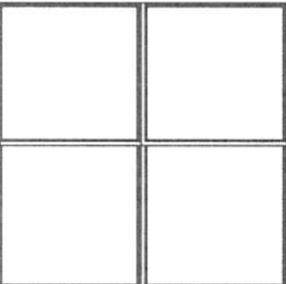
**Manufacturer:** Reliablity by Atrium

- DP50: Size Tested 36-in x 96-in  
 \*\*\*DP Code and Florida Approval Code only valid up to window size tested\*\*\*  
 Division: Millwork  
 Product: Windows  
 Type: Single Hungs  
 Manufacturer: Reliablity by Atrium  
 Will this product be installed by Lowe's: Not Installed By Lowe's  
 Product Type: Single Hungs  
 Product Line: Replacement  
 Series: 3050 Economy  
 Unit Configuration: Single Unit  
 Sash Configuration: Equal  
 Actual Width: 36-in  
 Actual Height: 60-in  
 Fits Opening Width: 36 1/4-in  
 Fits Opening Height: 60 1/4-in  
 Color: White  
 \*\*\*See in-store displays for exact color samples for both interior and exterior color.\*\*\*  
 Glass Energy Efficiency: Ultra Low-E w/ Argon  
 Glass Color: Clear  
 \*\*\*The graphics present an estimation of the color and are not a completely accurate representation.\*\*\*  
 Glass Strength/Safety: Double Strength  
 Grid Type: No Grids  
 Grid Style: No Grids  
 Hardware Color: Color Matched  
 Screen: Half Screen  
 Screen Shipping Option: Installed in Window  
 Breather Tubes: No  
 Extended Coverage: None  
 Lead Time: 15 Days  
 Item Number: 362170

\$275.20

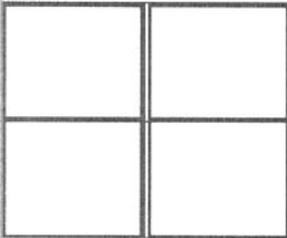
3

\$825.60

<p>0010 Size = 60-in W x 48-in H</p> 	<p><b>Manufacturer:</b> Reliablity by Atrium</p> <p>- DP50: Size Tested 36-in x 96-in ***DP Code and Florida Approval Code only valid up to window size tested***</p> <p>Division: Millwork Product: Windows Type: Single Hungs Manufacturer: Reliablity by Atrium Will this product be installed by Lowe's: Not Installed By Lowe's</p> <p>Product Type: Single Hungs Product Line: Replacement Series: 3050 Economy Unit Configuration: Twin Units Composite Direction: XX Sash Configuration: Equal Actual Width: 60-in Actual Height: 48-in Fits Opening Width: 60 1/4-in Fits Opening Height: 48 1/4-in Color: White ***See in-store displays for exact color samples for both interior and exterior color.***</p> <p>Glass Energy Efficiency: Ultra Low-E w/ Argon Glass Color: Clear ***The graphics present an estimation of the color and are not a completely accurate representation.***</p> <p>Glass Strength/Safety: Double Strength Grid Type: No Grids Grid Style: No Grids Hardware Color: Color Matched Screen: Half Screen Screen Shipping Option: Installed in Window Breather Tubes: No Extended Coverage: None Lead Time: 15 Days Item Number: 362170</p>	<p style="text-align: right;">\$534.77      2      \$1,069.54</p>
<p>0011 Size = 60-in W x 60-in H</p> 	<p><b>Manufacturer:</b> Reliablity by Atrium</p> <p>- DP50: Size Tested 36-in x 96-in ***DP Code and Florida Approval Code only valid up to window size tested***</p> <p>Division: Millwork Product: Windows Type: Single Hungs Manufacturer: Reliablity by Atrium Will this product be installed by Lowe's: Not Installed By Lowe's</p> <p>Product Type: Single Hungs Product Line: Replacement</p>	<p style="text-align: right;">\$554.51      1      \$554.51</p>

Series: 3050 Economy  
 Unit Configuration: Twin Units  
 Composite Direction: XX  
 Sash Configuration: Equal  
 Actual Width: 60-in  
 Actual Height: 60-in  
 Fits Opening Width: 60 1/4-in  
 Fits Opening Height: 60 1/4-in  
 Color: White  
 \*\*\*See in-store displays for exact color samples for both interior and exterior color.\*\*\*  
 Glass Energy Efficiency: Ultra Low-E w/ Argon  
 Glass Color: Clear  
 \*\*\*The graphics present an estimation of the color and are not a completely accurate representation.\*\*\*  
 Glass Strength/Safety: Double Strength  
 Grid Type: No Grids  
 Grid Style: No Grids  
 Hardware Color: Color Matched  
 Screen: Half Screen  
 Screen Shipping Option: Installed in Window  
 Breather Tubes: No  
 Extended Coverage: None  
 Lead Time: 15 Days  
 Item Number: 362170

0012  
 Size = 72-in W x 60-in H



**Manufacturer:** Reliablit by Atrium  
 - DP50: Size Tested 36-in x 96-in  
 \*\*\*DP Code and Florida Approval Code only valid up to window size tested\*\*\*  
 Division: Millwork  
 Product: Windows  
 Type: Single Hungs  
 Manufacturer: Reliablit by Atrium  
 Will this product be installed by Lowe's: Not Installed By Lowe's  
 Product Type: Single Hungs  
 Product Line: Replacement  
 Series: 3050 Economy  
 Unit Configuration: Twin Units  
 Composite Direction: XX  
 Sash Configuration: Equal  
 Actual Width: 72-in  
 Actual Height: 60-in  
 Fits Opening Width: 72 1/4-in  
 Fits Opening Height: 60 1/4-in  
 Color: White  
 \*\*\*See in-store displays for exact color samples for both interior and exterior color.\*\*\*  
 Glass Energy Efficiency: Ultra Low-E w/ Argon  
 Glass Color: Clear

\$584.11

|

\$584.11

\*\*\*The graphics present an estimation of the color and are not a completely accurate representation.\*\*\*  
 Glass Strength/Safety: Double Strength  
 Grid Type: No Grids  
 Grid Style: No Grids  
 Hardware Color: Color Matched  
 Screen: Half Screen  
 Screen Shipping Option: Installed in Window  
 Breather Tubes: No  
 Extended Coverage: None  
 Lead Time: 15 Days  
 Item Number: 362170

**Project Total: \$8,352.57**

**Salesperson:** DANNY JIMENEZ (S1579DJ2)

**Accepted by:** \_\_\_\_\_

Date: 10/11/2021

[Print Detailed Quote](#)

This quote is an estimate only and valid for 30 days on all regularly priced items. For promotional items please refer to the dates listed above. This estimate does not include tax or delivery charges. Estimated arrival will be determined at the time of purchase. All of the above quantities, dimensions, specifications and accessories have been verified and accepted by the customer. \*\*\* Special order configured products are subject to a 20% restocking fee if returned. \*\*\*